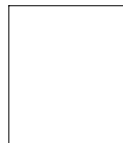
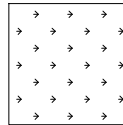
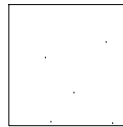




	CRAPEMYRTLE/ LAGERSTOEMIA INDICA	2
	TEXAS RED OAK/QUERCUS BUCKLEYI	2
	SIDEWALK	
	GRASS	
	CONCRETE	

CITY OF FORT WORTH
PLOT PLAN & ZONING VERIFIED

TEXAS LAW, CHAPTER 752 OF THE TEXAS HEALTH AND SAFETY CODE PROHIBITS ALL ACTIVITIES IN WHICH PERSON OR THINGS MAY COME WITHIN 6' OF LIVE OVERHEAD HIGH VOLTAGE LINE. THE NATIONAL ELECTRICAL SAFETY CODE ALSO REQUIRES STRUCTURES TO BE LOCATED A SAFE DISTANCE AWAY FROM LIVE OVERHEAD HIGH VOLTAGE LINES. CONTACT TXU ELECTRIC DELIVERY LES HALL AT PH# 817-443-3422 TO ARRANGE FOR LINE TO BE TURNED OFF OR MOVED.

"No person shall remove any protected tree equal to or greater than six (6") in diameter on a parcel of land without a permit from the Urban Forestry. The Urban Forestry can be reached at (817) 392-7933. Failure to obtain a Tree Permit prior to tree removal could result in both civil and criminal penalties."

DRIVEWAY APPROACH(ES) SHALL
MEET CITY OF FORT WORTH
STANDARD DRAWING, AND
SEPARATE PERMIT FROM T&PW
CONSTRUCTION DIVISION



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FORT WORTH, TX 76110
LOT: 14 BLOCK: 17

ISSUE DATE
04.22.2025

DRAFTSPERSON
MEM

PROJECT NO.
000

PLAN NUMBER
2339

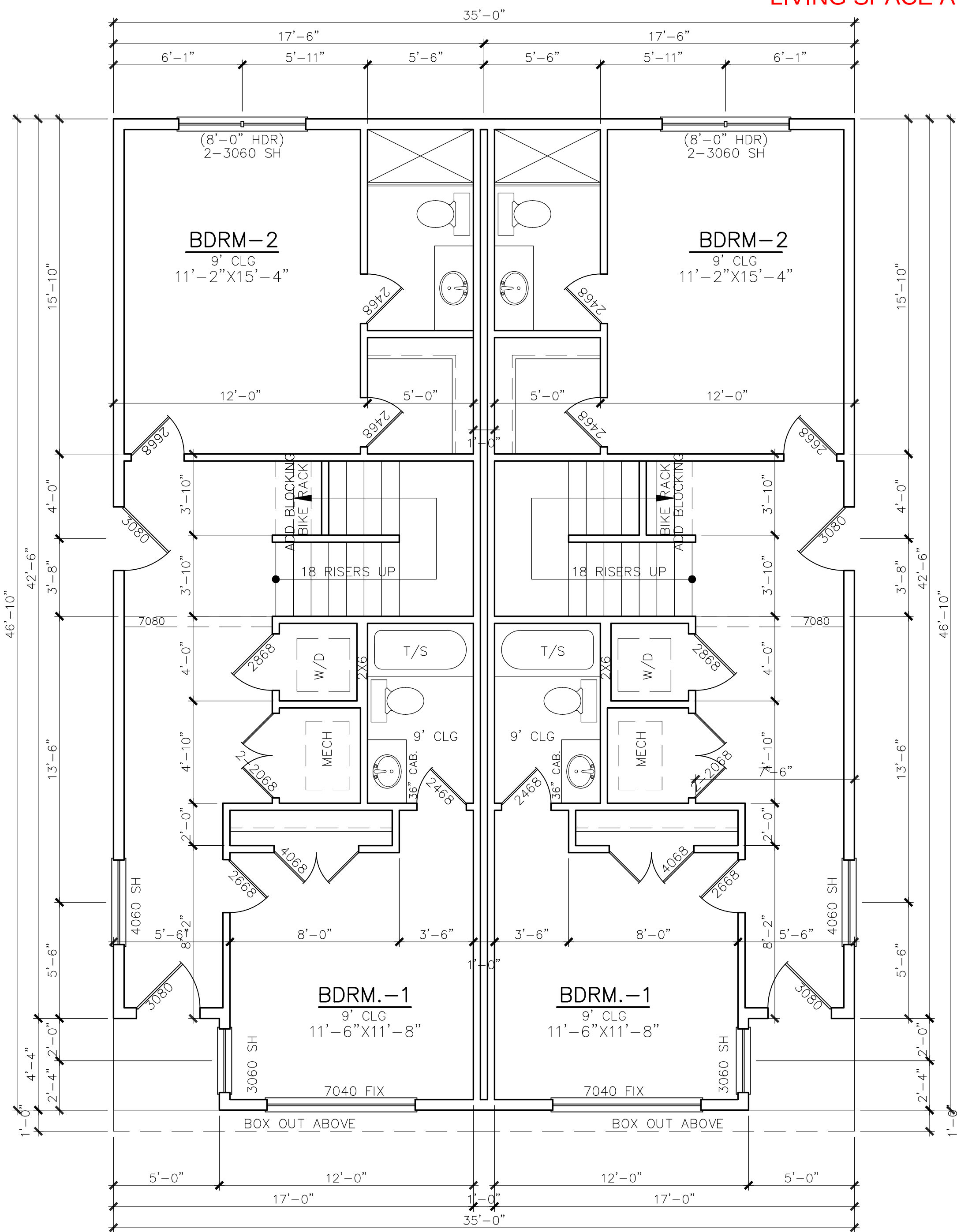
SHEET NUMBER

S-1

LOTS SHALL BE GRADED TO DRAIN AWAY FROM FOUNDATIONS AT A MIN. OF 6 INCHES IN THE FIRST 10 FEET (SLOPE MUST BE 1:20) SECTION R401.3 2021 IRC

5/8" TYPE X GYPSUM REQUIRED ON GARAGE CEILING WHEN THERE IS LIVING SPACE ABOVE

WATER HEATERS WITH WATER TANKS ARE NOT ALLOWED IN ATTICS PER c.f.w SINGLE FAMILY, DUPLEX, OR MULTI FAMILY, SEC 1305.1.2 2021 IRC



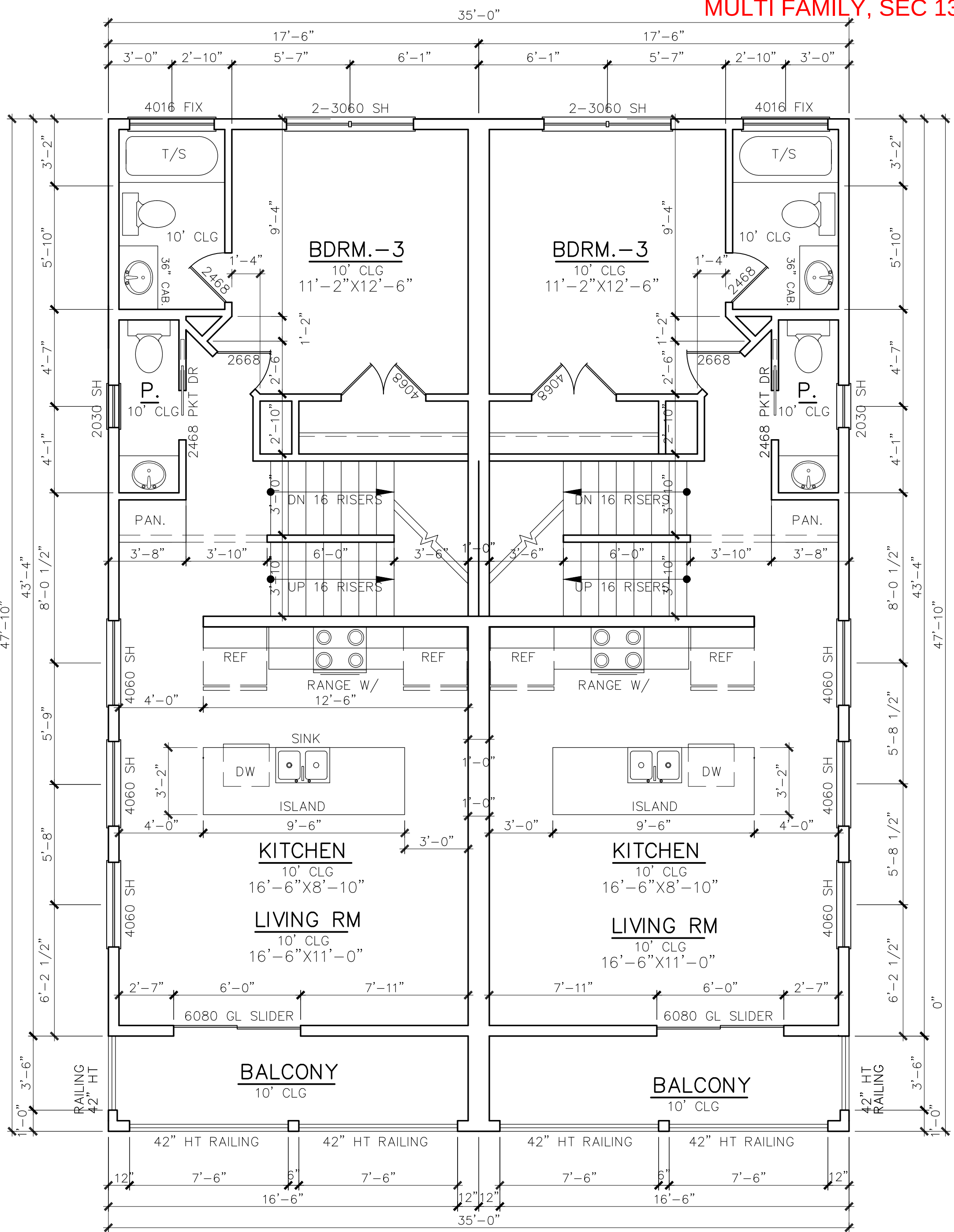
FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

SQ. FOOTAGES – UNIT 1			
First Floor	798	SQ. FT.	
Second Floor	686	SQ. FT.	
Third Floor	743	SQ. FT.	
Total Living Area	2244	SQ. FT.	
Total Slab	820	SQ. FT.	
Porch	22	SQ. FT.	
2nd Floor Balcony	79	SQ. FT.	
Total Under Roof	2328	SQ. FT.	

SQ. FOOTAGES – UNIT 1			
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Total Living Area	2244	SQ. FT.	
Total Slab	820	SQ. FT.	
Porch	22	SQ. FT.	
2nd Floor Balcony	79	SQ. FT.	
Total Under Roof	2328	SQ. FT.	

- (1) SMOKE DETECTORS PER SECTION R314 2021 IRC AND FW AMEND:
- INSIDE AND OUTSIDE ALL BEDROOMS AND MEDIA ROOMS
- EACH LEVEL OF THE DWELLING
- (WHEN THE HALL SERVING BEDROOM(S) HAS A CEILING HEIGHT 24" OR MORE BELOW THE ADJACENT ROOM CEILING HEIGHT, A SMOKE DETECTOR IS REQUIRED IN THE HALL AND IN THE ADJACENT ROOM)
(2) CARBON MONOXIDE DETECTORS PER SECTION R315 2021 IRC



SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

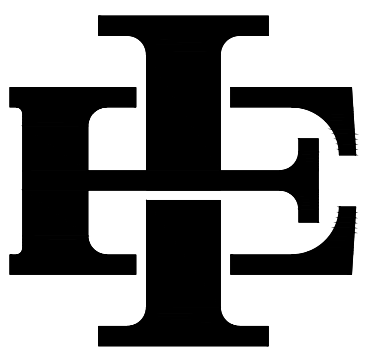
THE LOWEST PART OF WINDOW OPENINGS LOCATED GREATER THAN 72 INCHES ABOVE THE OUTSIDE GRADE MUST BE A MINIMUM 24 INCHES ABOVE THE FINISHED FLOOR SECTION R312.2 2021 IRC OR PROVIDE EXCEPTION NUMBER ____

ATTIC ACCESS REQUIRED SECTION R807.1 2021 IRC

OPENINGS BETWEEN THE GARAGE AND RESIDENCE MUST BE SELF-CLOSING AND SELF-LATCHING R302.5.1 2021 IRC

ALL RECEPTACLES INSTALELD IN BATHROOMS, GARAGES, OUTDOORS, CRAWL SPACES, BASEMENTS, KITCHEN COUNTERTOPS, WITHIN 6' OF A SINKS (INCLUDING RECEPTACLES IN KITCHENS SUPPLYING APPLIANCES), WITHIN 6' OF A BATHTUB OR SHOWER STALL, LAUNDRY AREAS AND INDOOR DAMP AND WET LOCATIONS. ALSO, EXTERIOR OUTLETS TO BE GFCI & WEATHER PROTECTED PER NEC 210.8 (A)

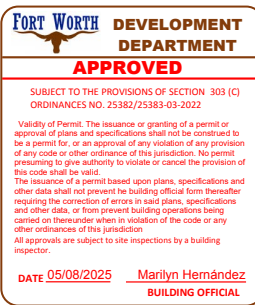
R311.2Egress door.
Not less than one egress door shall be provided for each dwelling unit. The egress door shall be side-hinged, and shall provide a clear width of not less than 32 inches (813 mm) where measured between the face of the door and the stop, with the door open 90 degrees (1.57 rad). The clear height of the door opening shall be not less than 78 inches (1981 mm) in height measured from the top of the threshold to the bottom of the stop. Other doors shall not be required to comply with these minimum dimensions. Egress doors shall be readily openable from inside the dwelling without the use of a key or special knowledge or effort.



EDWARD & ISAAC
DESIGNS LLC.

5017 NASH LANE
FORT WORTH, 76244
OFFICE: (214)-395-4688

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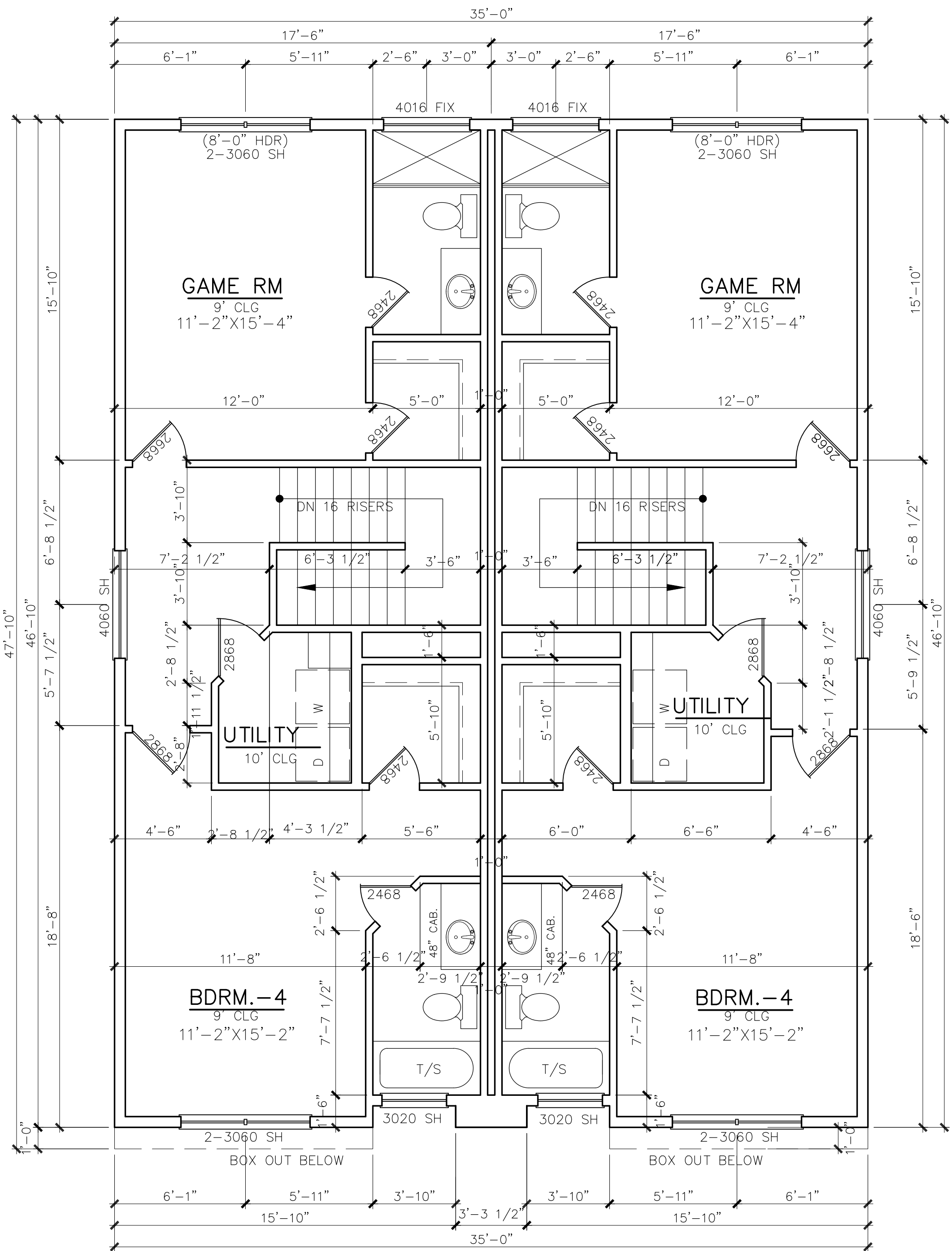
OWNER INFORMATION

2817 FOREST PARK BLVD
FORT WORTH, TX 76110
LOT: 14 BLOCK: 17

ADDRESS:

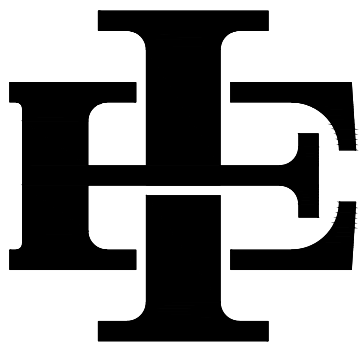
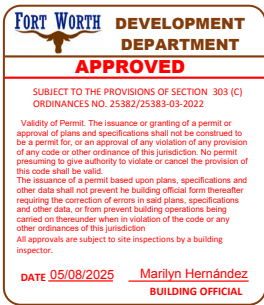
ISSUE DATE	04.22.2025
DRAFTSPERSON	MEM
PROJECT NO.	000
PLAN NUMBER	2339
SHEET NUMBER	

A-1



THIRD FLOOR PLAN

SCALE: 1/4" = 1'-0"



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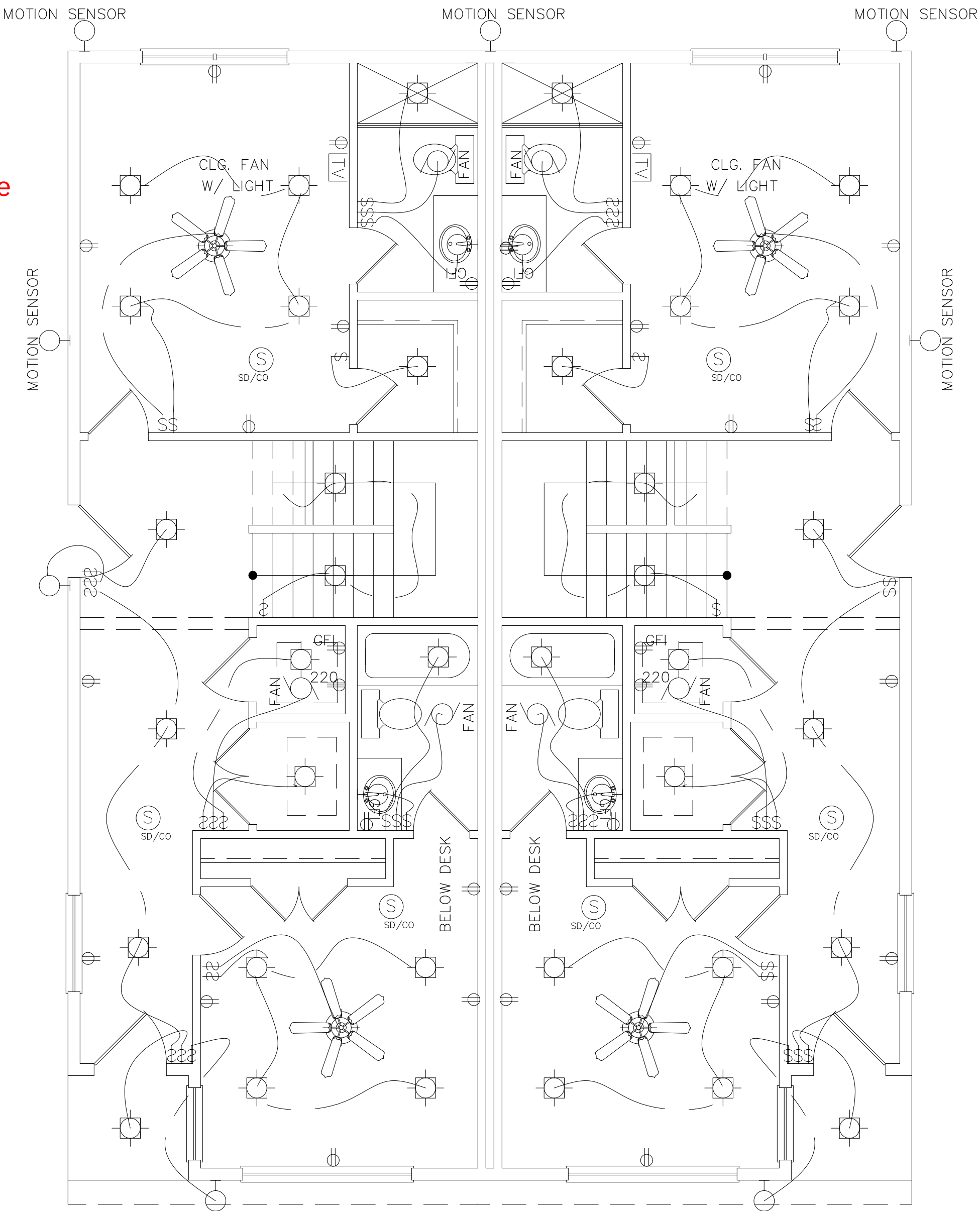
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PLAN NUMBER
2339

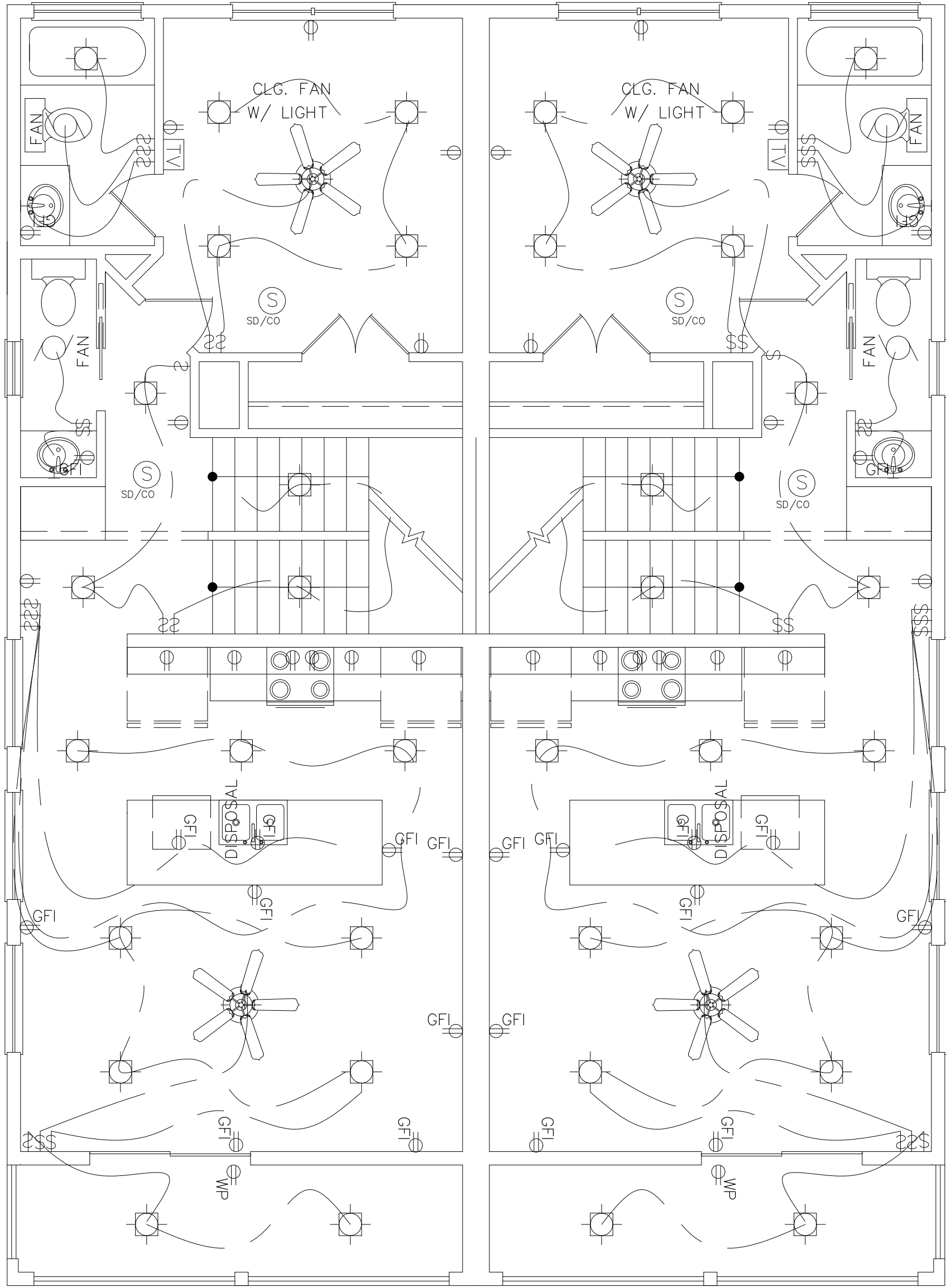
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A-2

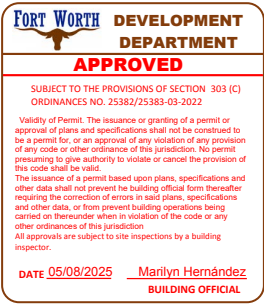
NEC 2023 230.85 Emergency Disconnects. For one- and two-family dwelling units, all service conductors shall terminate in disconnecting means having a short-circuit current rating equal to or greater than the available fault current, installed in a readily accessible outdoor location. If more than one disconnect is provided, they shall be grouped. Each disconnect shall be one of the following:
(1) Service disconnects marked as follows:
EMERGENCY DISCONNECT,
SERVICE DISCONNECT
(2) Meter disconnects installed per 230.82 (3) and marked as follows:
EMERGENCY DISCONNECT,
METER DISCONNECT,
NOT SERVICE EQUIPMENT
(3) Other listed disconnect switches or circuit breakers on the supply side of each service disconnect that are suitable for use as service equipment and marked as follows:
EMERGENCY DISCONNECT,
NOT SERVICE EQUIPMENT



FIRST FLOOR ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"



SECOND FLOOR ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"

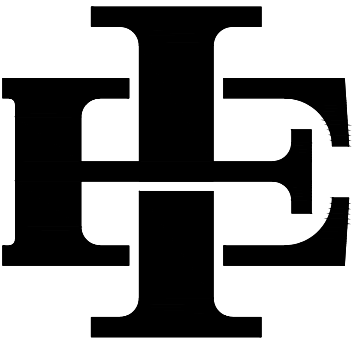


NEC 2023 210.8(F) GFCI protection is required for all outdoor dwelling unit outlets that are supplied by a 1-phase branch circuit rated 150V or less to ground, 50A or less.

210.52(G) 2023 NEC - Receptacle outlet in each separate garage bay space, including detached garages

NEC 2023 230.67 All services supplying dwelling units shall be provided with surge-protective device of Type 1 or Type 2 SPD

ALL RECEPTACLES INSTALLED IN BATHROOMS, GARAGES, OUTDOORS, CRAWL SPACES, BASEMENTS, KITCHEN COUNTERTOPS, WITHIN 6' OF A SINKS (INCLUDING RECEPTACLES IN KITCHENS SUPPLYING APPLIANCES), WITHIN 6' OF A BATHTUB OR SHOWER STALL, LAUNDRY AREAS AND INDOOR DAMP AND WET LOCATIONS. ALSO, EXTERIOR OUTLETS TO BE GFCI & WEATHER PROTECTED PER NEC 210.8 (A)



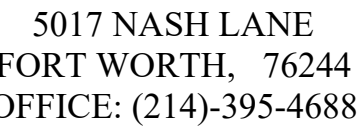
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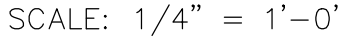
ISSUE DATE	04.22.2025
DRAFTSPERSON	MEM
PROJECT NO.	000
PLAN NUMBER	2339
SHEET NUMBER	A-3



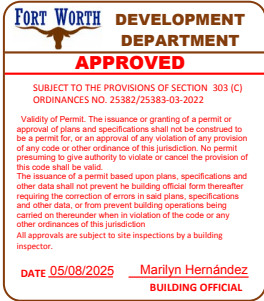
OWNER INFORMATION

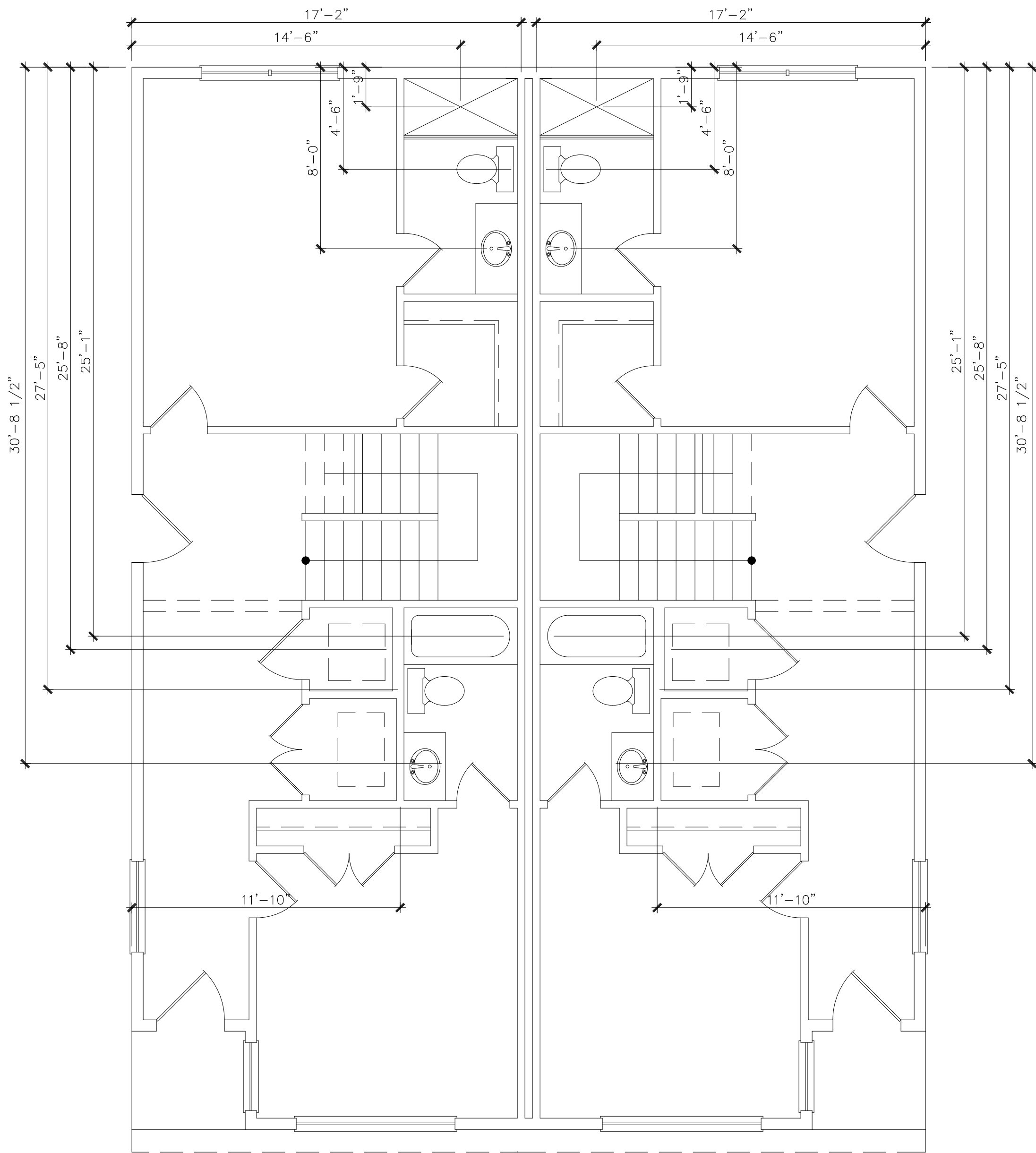
2817 FOREST PARK BLVD.
FORT WORTH, TX 76110
LOT: 14 BLOCK: 17

A-4



- 1.) NOT USED.
- 2.) ALL PLUGS AND SMOKE DETECTORS PER LOCAL CODES AND LOCATED ON PLAN. ALL SMOKE DETECTORS SHOULD BE IN AN AREA ACCESSIBLE BY 16' EXTENSION LADDER OR 6' STEP LADDER.
- 3.) NOT USED.
- 4.) EXTERIOR COLUMN AND PORCH LIGHTS TO BE AT 7'-0" A.F.F.
- 5.) BLOCK AND WIRE FOR CEILING FANS/LIGHTS AT FAMILY ROOM, GAMEROOM, AND ALL BEDROOMS. (SINGLE GANG BOX ONLY IN SECONDARY BEDROOM.)
- 6.) VANITY LIGHTS TO BE PLACED ABOVE ALL BATHROOM MIRRORS.
- 7.) DOORBELL WIRING PER PLAN BY COMMUNITY -- BUTTON TO BE AT 42" A.F.F. WHERE APPLICABLE AND LOCATION DENOTED ON PLAN.
- 8.) DOORBELL CHIMES PER PLAN (AT 6" DOWN FROM CEILING).
- 9.) MICROWAVE/VENTHOOD PLUG TO BE LOCATED AT 86" A.F.F. (IF OVER COOKTOP).
- 10.) VANITY LIGHT BOXES TO BE AT 86" A.F.F. (TO BOTTOM OF BOX).
- 11.) BATH VANITY PLUGS TO BE AT 41-1/2" A.F.F.
- 12.) INSTALL GFCI PLUGS AT ALL SINK VANITIES AND AT KITCHEN COUNTERTOPS.
- 13.) MICROWAVE PLUG TO BE @ 86" A.F.F. (IF OVER CABINETS).
- 14.) KITCHEN COUNTERTOP PLUGS AND SWITCHES TO BE HORIZONTAL AT 37 1/2" A.F.F. (TO BOTTOM OF BOX).
- 15.) SUPPLY TWO (2) LIGHTS IN ATTIC AT DISAPPEARING STAIR AND AT HVAC WORK PLATFORM AND HW PLATFORM (PER LOCAL CODES) TO BE SWITCHED IN ATTIC, ACCESSIBLE FROM ATTIC LADDER.
- 16.) NOT USED.
- 17.) SECURITY KEYPADS TO BE LOCATED ABOVE SWITCHES, PER PLAN.
- 18.) OPTIONAL INTERCOM SPEAKERS AT 52" A.F.F. TO BOTTOM OF RING.
- 19.) PHONE AND PLUGS FOR PLANNING CENTER TO BE AT 34-1/2" A.F.F. TO BOTTOM.
- 20.) 110V SERVICE OUTLET IN ATTIC NEAR DISAPPEARING STAIR.
- 21.) NO WIRES TO BE RUN OVER ATTIC CAT WALKS.

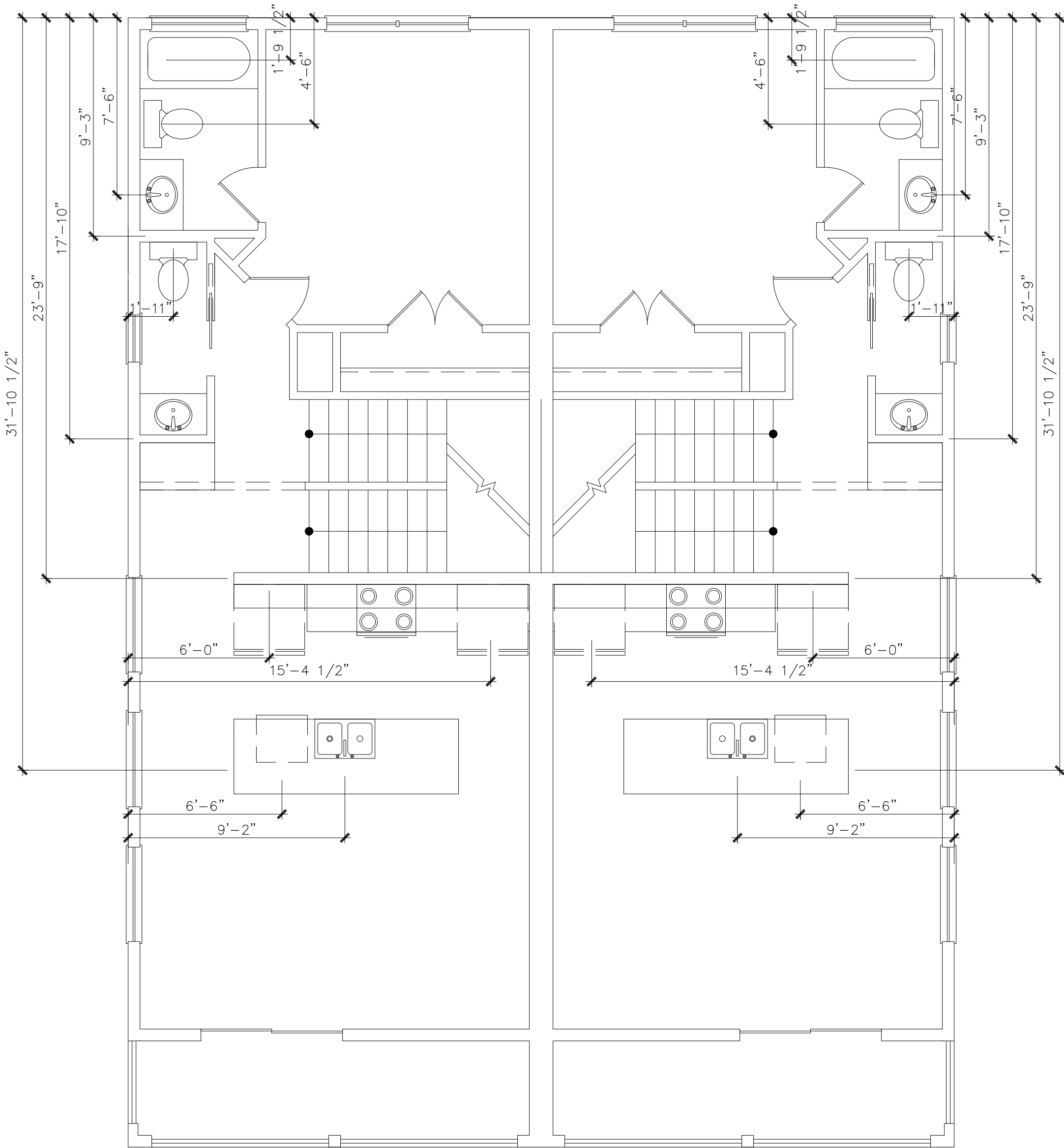




FIRST FLOOR PLUMBING PLAN

SCALE: 1/4" = 1'-0"

1" supply line required
when supplying more
than 9.5 fixture units

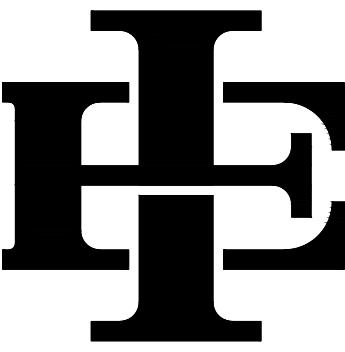


SECOND FLOOR PLUMBING PLAN

SCALE: 1/4" = 1'-0"

Water shut off required
at point of entrance to
house and property line





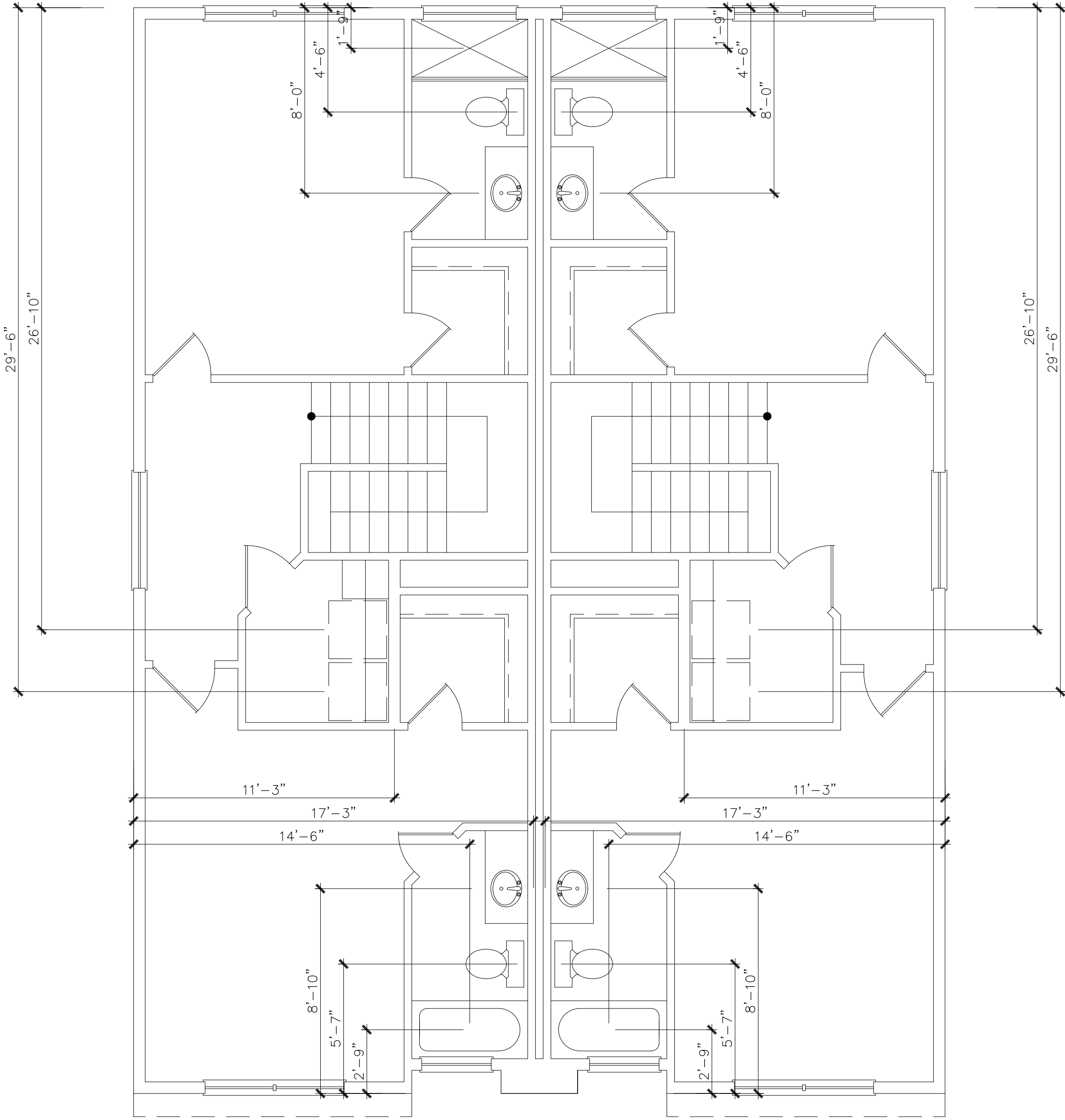
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5017 NASH LANE
FORT WORTH, 76244
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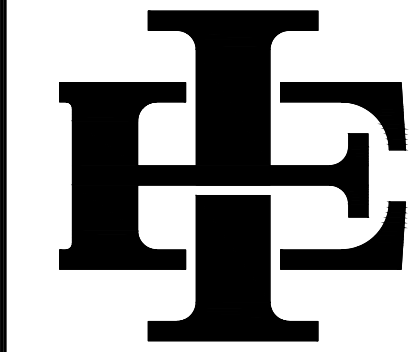
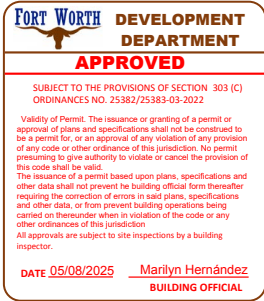
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THIRD FLOOR PLUMBING PLAN
SCALE: 1/4" = 1'-0"



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SHEET NUMBER

A-6



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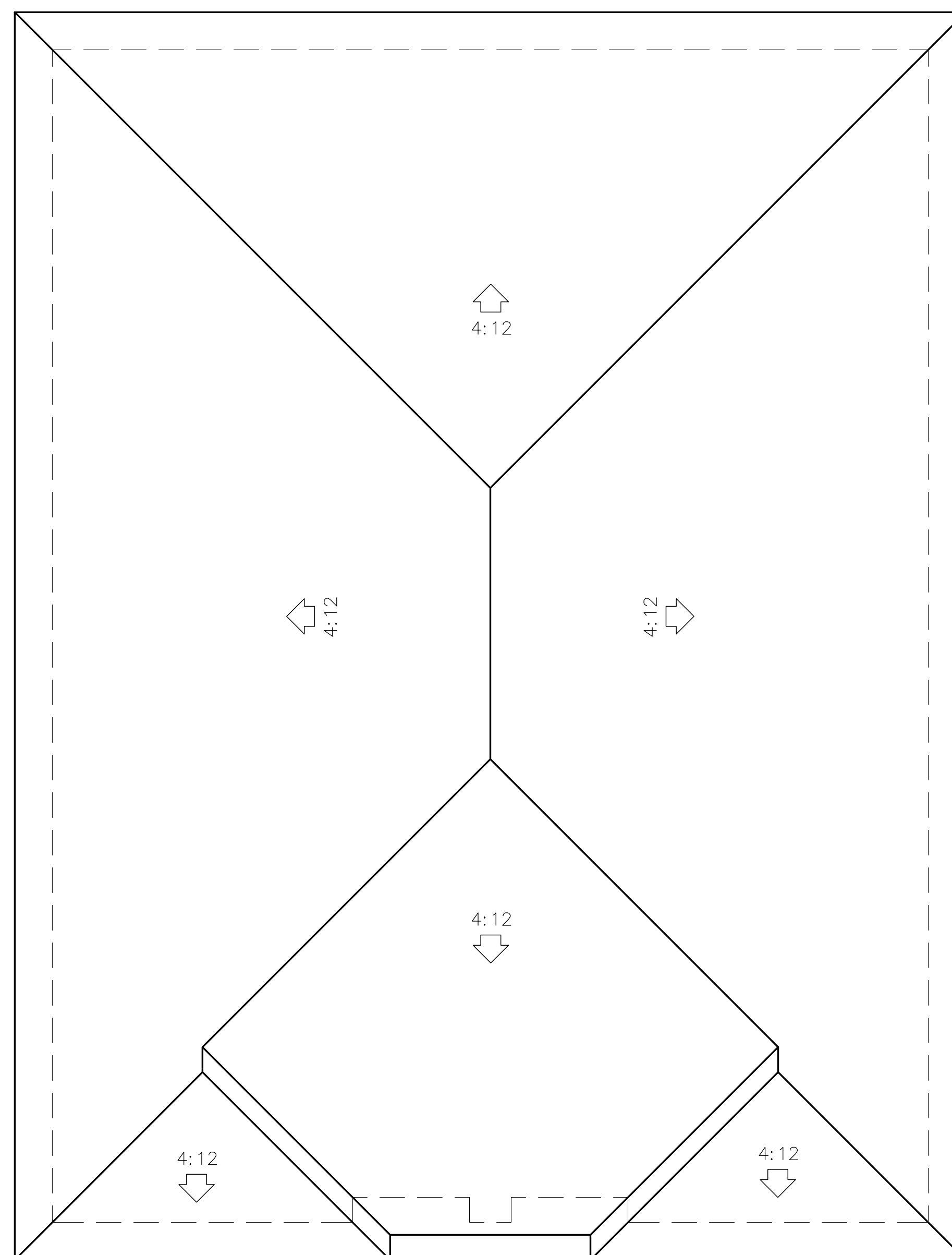
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PROJECT NO.
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PLAN NUMBER
2339

SHEET NUMBER

A-7



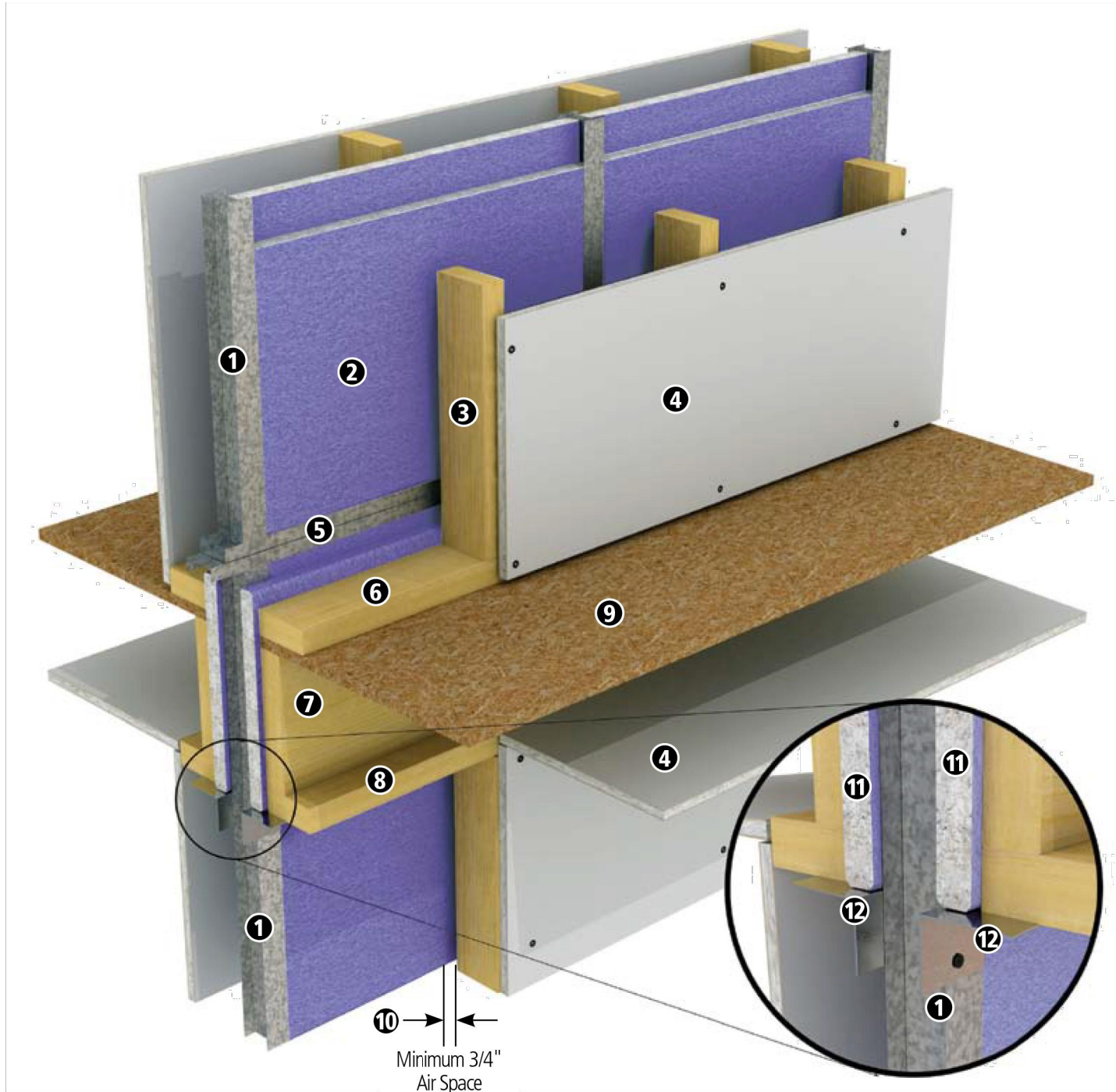
ROOF DRAIN
SCALE: 1/4" = 1'-0"

2-Hour Area Separation Wall System

The 2-Hour Area Separation Wall System is a 2-hour fire wall consisting of 2 in. (50.8 mm) light-gauge steel H-Studs that secure two layers of 1 in. (25.4 mm) shaftliner panels friction-fit between studs and a minimum 3/4 in. (19.1 mm) air space on each side.

TYPICAL FLOOR/CEILING JUNCTURE

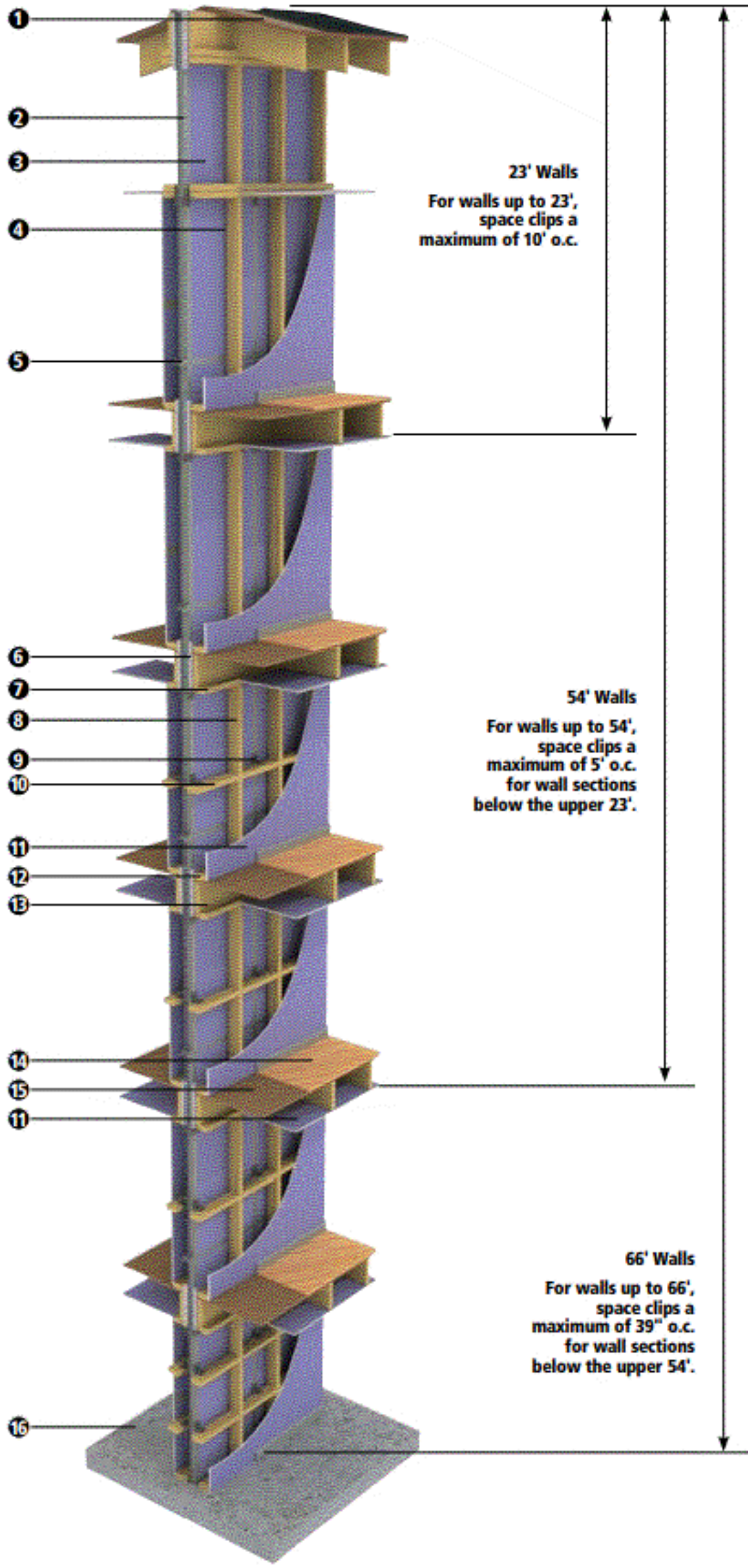
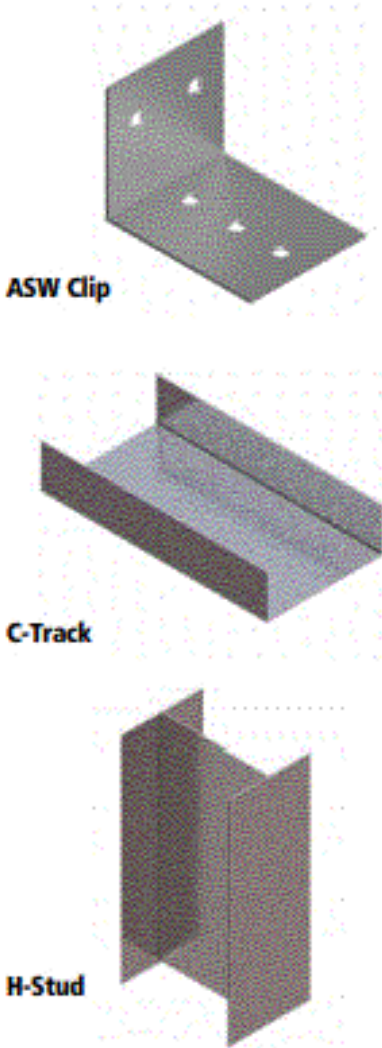
1. H-Stud
2. Two Layers 1" Shaftliner XP®
3. Stud
4. Gypsum Board
5. Double C-Track (Back to Back)
6. Bottom Plate
7. Rim Joist
8. Top Plate
9. Subfloor
10. Minimum 3/4" Air Space
11. Fire Blocking 1" Fire-Shield® Shaftliner or Mineral Wool
12. ASW Clip



National Gypsum®

AREA SEPARATION WALL LIMITING HEIGHTS

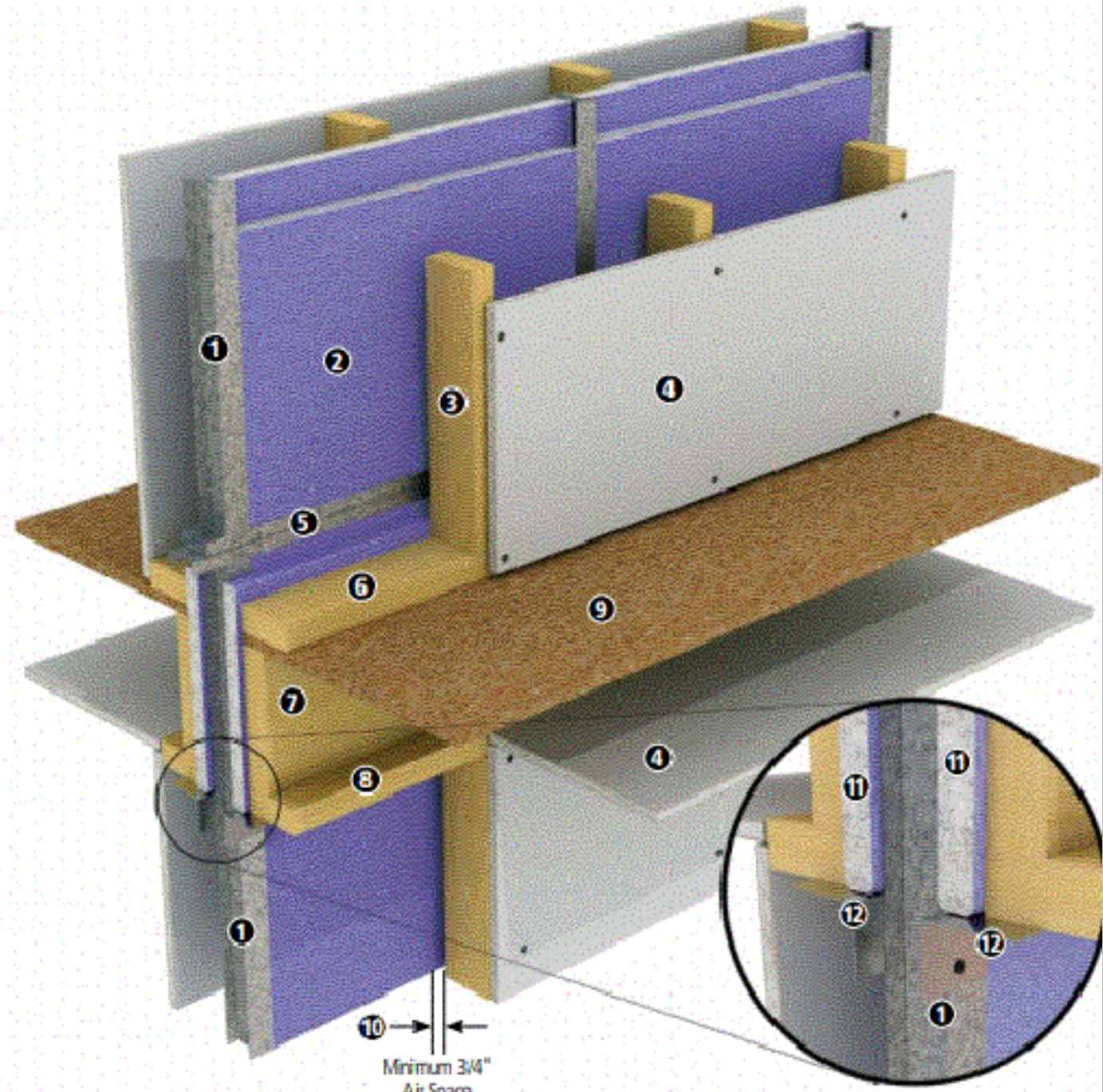
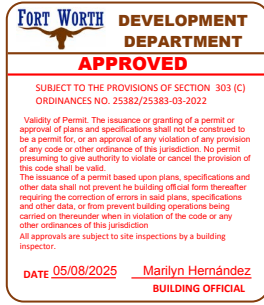
1. Roof
2. H-Stud
3. Two Layers 1" Shaftliner XP®
4. Minimum 3/4" Air Space
5. Double C-Track (Back-to-Back)
6. Fire Blocking 1" Shaftliner XP® or Mineral Wool
7. Top Plate
8. Stud
9. ASW Clip
10. Blocking
11. XP® Gypsum Board
12. Bottom Plate
13. Rim Joist
14. Finish Floor
15. Subfloor
16. Concrete Slab



The 2-Hour Area Separation Wall System is a 2-hour fire wall consisting of 2 in. (50.8 mm) light-gauge steel H-Studs that secure two layers of 1 in. (25.4 mm) shaftliner panels friction-fit between studs and a minimum 3/4 in. (19.1 mm) air space on each side.

TYPICAL FLOOR/CEILING JUNCTURE

1. H-Stud
2. Two Layers 1" Shaftliner XP®
3. Stud
4. Gypsum Board
5. Double C-Track (Back to Back)
6. Bottom Plate
7. Rim Joist
8. Top Plate
9. Subfloor
10. Minimum 3/4" Air Space
11. Fire Blocking 1" Fire-Shield® Shaftliner or Mineral Wool
12. ASW Clip



NATIONAL GYPSUM® COMPANY 2-Hour Area Separation Wall System

Description

National Gypsum Company produces three shaftliner products for use in the Area Separation Wall System:

Gold Bond® BRAND Fire-Shield® Shaftliner consists of a fire-resistant Type X gypsum core encased in a heavy, moisture-resistant and green paper that is made from 100-percent recycled content.

Gold Bond® BRAND XP® Shaftliner consists of a mold-, mildew-, moisture- and fire-resistant Type X gypsum core with a specially designed PURPLE® paper that offers superior resistance to mold and mildew.

Gold Bond® BRAND EXP® Shaftliner consists of a fire-resistant Type X gypsum core encased in a coated, specially designed PURPLE® fiberglass mat facer for superior mold, mildew and moisture resistance.

The steel H-Studs are attached on each side to adjacent framing with aluminum ASW break-away clips. The clips melt when exposed to heat and allow the collapse of the fire-exposed unit without failure of the area separation wall.

The H-Studs are secured at the foundation by the flanges of the C-Track. The same track is used back-to-back at intermediate floors to provide a splicing means so that the system can be erected one floor at a time. C-Tracks are also used at the roof line or at the parapet and at the ends of walls.

For a 2-hour, fire-rated assembly without the need for battens, maintain a minimum 3/4 in. (19.1 mm) air space between the H-Stud assembly and any adjacent framing members. When you cannot maintain a minimum 3/4 in. (19.1 mm) air space, cover the H-Studs and C-Tracks by gypsum board battens. In lieu of battens, fasten gypsum board to the H-Studs, and treat joints with tape and joint compound to provide a finished wall surface.

Wood- or steel-stud flanking walls on each side of the area separation wall system can be load-bearing and can accommodate mechanical, electrical and plumbing systems. Install mineral wool or glass fiber insulation to provide higher STC ratings.

Technical Data

The Area Separation Wall System has a non-bearing wall rating of 2 hours and is listed in the UL Fire Resistance Directory as Design No. U347 and in the GA-600 Fire Resistance Manual as file numbers ASW 0800, ASW 0981 and ASW 0998.

The Area Separation Wall System has been evaluated for code compliance in UL Evaluation Report UL ER R3501-01.

The Area Separation Wall System may be built up to a maximum of 66 ft. (20.1 m) high.

Do not use the Area Separation Wall System where exposure to constant dampness and/or water may occur.

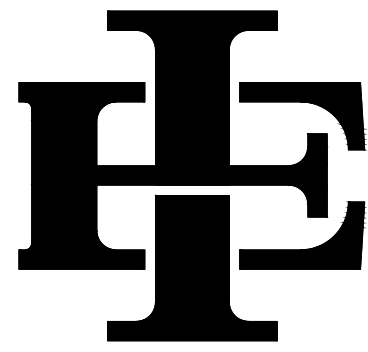
Although steel framing and Gold Bond® BRAND EXP® Gypsum Panels can withstand temporary exposure to moisture during construction, protect the finished wall as soon as possible.

Protect insulation in the Area Separation Wall from getting wet. Do not install until the building is enclosed.

Properly store materials supplied to the jobsite, support off the ground, and protect from inclement weather.

Installation

1. Attach 2 in. (50.8 mm) C-Tracks to the top of the foundation 3/4 in. (19.1 mm) from the adjacent framed wall with fasteners spaced 24 in. (610 mm) o.c. Apply acoustical sealant along edges of track to minimize sound transmission.
2. Install C-Track on the ends of stepped foundation walls aligned with the Area Separation Wall and, if applicable, with fasteners 24 in. (610 mm) o.c. Caulk edges as with the floor track.
3. At the intersection of foundation and the exterior wall, begin erecting Area Separation Wall by inserting first layer of 1 in. (25.4 mm) shaftliner into C-Track. Insert second layer back-to-back with first layer and seat into C-Track. Shaftliner and studs may be set into position from the basement floor or fed down through the space provided between the wood framing from the floor above. Cap the terminating edge of the shaftliner panels with a vertical C-Track at the end of the foundation and fasten to the floor track with 3/8 in. (9.5 mm) Type S pan-head screws.



EDWARD & ISAAC
DESIGNS LLC.
5017 NASH LANE
FORT WORTH, 76244
OFFICE: (214)-395-4688

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OWNER INFORMATION

ADDRESS:
2817 FOREST PARK BLVD .
FORT WORTH, TX 76110
LOT: 14 BLOCK: 17

ISSUE DATE
04.22.2025

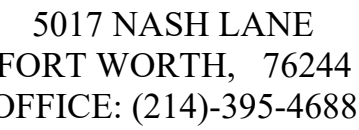
DRAFTSPERSON
MEM

PROJECT NO.
000

PLAN NUMBER
2339

SHEET NUMBER

A—8



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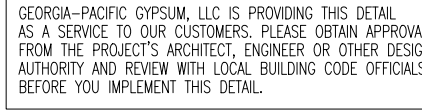
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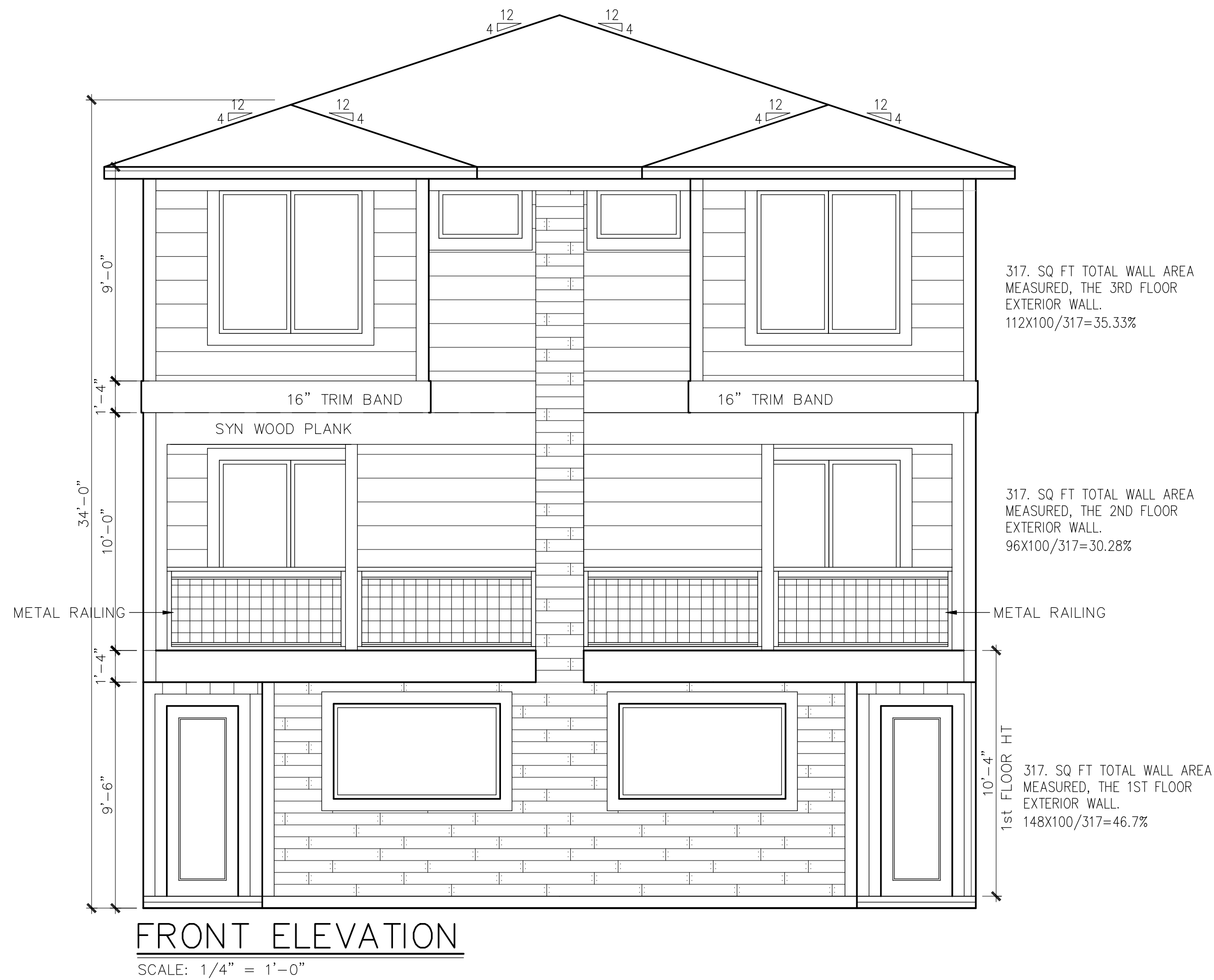
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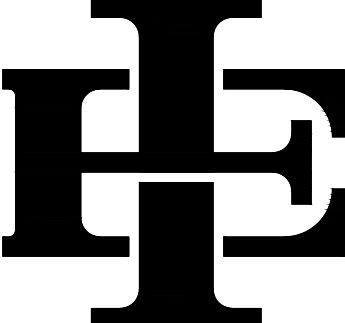
2339

SHEET NUMBER

A-9







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FORT WORTH, 76244
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PLAN NUMBER	2339
SHEET NUMBER	A-10

LANDSCAPE SPECIFICATIONS

SECTION 02900

PART 1 – GENERAL

1.1 REFERENCED DOCUMENTS

A. Refer to bidding requirements, special provisions, and schedules for additional requirements.

1.2 DESCRIPTION OF WORK

A. Work included: Furnish all supervision, labor, materials, services, equipment and appliances required to complete the work covered in conjunction with the landscaping covered in these specifications and landscaping plans, including:

1. Planting (trees, shrubs, and grass)
2. Bed preparation and fertilization
3. Notification of sources
4. Water and Maintenance until final acceptance
5. Guarantee

1.3 REFERENCE STANDARDS

A. American Standard for Nursery Stock published by American Association of Nurserymen: 27 October 1980, Edition; by American National Standards Institute, Inc. (Z60.1) – plant material.

B. American Joint Committee on Horticultural Nomenclature: 1942 Edition of Standardized Plant Names.

C. Texas Association of Nurserymen, Grades and Standards.

D. Hortis Third, 1976 – Cornell University

1.4 NOTIFICATION OF SOURCES AND SUBMITTALS

A. The Contractor shall, within ten (10) days following acceptance of bid, notify the Engineer/Architect/Owner of the sources of plant materials and bed preparation required for the project.

B. Samples: Provide representative quantities of sandy loam soil, mulch, bed mix material, gravel, and crushed stone. Samples shall be approved by Architect before use on project.

C. Product Data: Submit complete product data and specifications on all other specified materials.

D. Submit three representative samples of each variety of ornamental trees, shrubs, and ground cover plants for Engineer's/Architect's approval. When approved, tag, install, and maintain as representative samples for final installed plant materials.

E. File Certificates of inspection of plant material by state, county, and federal authorities with Architect/Engineer, if required.

F. Soil Analysis: Provide sandy loam soil analysis if requested by the Architect/Engineer.

1.5 JOB CONDITIONS

A. General Contractor to complete the following punch list: Prior to Landscape Contractor initiating any portion of landscape installation, General Contractor shall leave planting bed areas three (3") inches below finish grade of sidewalks, drives and curbs as shown on the drawings. All lawn areas to receive solid sod shall be left one (1") inch below the finish grade of sidewalks, drives, and curbs. All construction debris shall be removed prior to Landscape Contractor beginning any work.

B. General Contractor shall provide topsoil as described in Section 02200 – Earthwork.

C. Storage of materials and equipment at the job site will be at the risk of the Landscape Contractor. The Owner cannot be held responsible for theft or damage.

Section 02900 – 01

PART 3 – EXECUTION

3.1 BED PREPARATION & FERTILIZATION

A. Landscape Contractor to inspect all existing conditions and report any deficiencies to the Owner.

B. All planting areas shall be conditioned as follows:

1. Prepare new planting beds by scraping away existing grass and weeds as necessary. Till existing soil to a depth of six inches prior to fertilizer and compost application. Apply fertilizer as per manufacturer's recommendations. Add six (6") inches of compost and till into a depth of six (6") inches of the native soil. Apply organic fertilizer such as Sustane or Green Sense at the rate of twenty (20) pounds per one thousand (1,000) square feet.
2. All planting bed areas shall receive a two (2") inch layer of specified mulch.
3. Backfill for tree pits shall be as follows: Use existing topsoil on site, free from large clumps, rock, debris, caliche, subsoils, etc., placed in nine (9") inch layers and watered in thoroughly.

C. Grass Area:

1. Areas to be Solid Sod Bermuda grass: Blocks of sod should be laid joint to joint, (staggered joints) after fertilizing the ground first. Roll grass areas to achieve a smooth, even surface. The joints between the blocks of sod should be filled with topsoil where they are evidently gaped open, then watered thoroughly.
2. Areas to be Hydromulch Common Bermuda grass: Hydromulch with Bermuda grass seed at a rate of two (2) pounds per one thousand (1,000) square feet. Use a 4' x 8' batter board against the bed areas.

Section 02900 – 05

LANDSCAPE SPECIFICATIONS (CONT)

1.6 MAINTENANCE AND GUARANTEE

A. Maintenance

1. The Landscape Contractor will be held responsible for the maintenance of all work from the time of planting until final acceptance by the Owner. No trees, shrubs, ground cover or grass will be accepted unless they show a healthy growth and satisfactory foliage conditions.

2. Maintenance shall include watering of trees and plants, cultivation, weeding, spraying, edging, pruning of trees, mowing of grass, cleaning up and all other work necessary of maintenance.

3. A written notice requesting final inspection and acceptance should be submitted to the Owner at least seven (7) days prior to completion. An on-site inspection by the Owner and Landscape Contractor will be completed prior to written acceptance.

4. After final acceptance of installation, the Landscape Contractor will not be required to do any of the above listed work.

B. GUARANTEE

1. Trees shall be guaranteed for a twelve (12) month period after acceptance. Shrubs and ground cover shall be guaranteed for twelve (12) months. The Contractor shall replace all dead materials as soon as weather permits and upon notification of the Owner. Plants, including trees, which have partially died so that shape, size, or symmetry has been damaged, shall be considered subject to replacement. In such cases, the opinion of the Owner shall be final.

a. Plants used for replacement shall be of the same kind and size as those originally planted and shall be planted as originally specified. All work, including materials, labor and equipment used in replacements, shall carry a twelve (12) month guarantee. Any damage, including ruts in lawn or areas, incurred as a result of making replacements shall be immediately repaired.

b. At the direction of the Owner, plants may be replaced at the start of the next year's planting season. In such cases, dead plants shall be removed from the premises immediately.

c. When plant replacements are made, plants, soil mix, fertilizer and mulch are to be utilized as originally specified and reinspected for full compliance with Contract requirements. All replacements are to be included under "Work" of this section.

2. The Owner agrees that for the guarantee to be effective, he will water plants at least twice a week during dry periods and cultivate beds once a month after final acceptance.

3. The above guarantee shall not apply where plants die after acceptance because of injury by storms, hail, freeze, insects, diseases, injury by humans, machines or theft.

4. Acceptance for all landscape work shall be given after final inspection by the Owner provided the job is in a completed, undamaged condition, and there is a stand of grass in all lawn areas. At this time, the Owner will assume maintenance on the accepted work.

1.7 QUALITY ASSURANCE

A. General: Comply with applicable Federal, State, County, and Local regulations governing landscape materials and work.

B. Personnel: Employ only experienced personnel who are familiar with the required work. Provide full-time supervision by a qualified foreman acceptable to Landscape Architect/Engineer.

C. Selection of Plant Material:

1. Make contact with suppliers immediately upon obtaining notice of contract acceptance to select and book materials. Develop a program of maintenance (pruning and fertilization) which will insure the purchased materials will meet and/or exceed project specifications.
2. Landscape Architect/Engineer will provide a key identifying each tree location on site. Written verification will be required to document material selection, source and delivery schedules to site.

3. Owner and/or Architect/Engineer shall inspect all plant materials, when reasonable, at place of growth for compliance with requirements for genus, species, cultivar/variety, size, and quality.

4. Owner and/or Architect/Engineer retains the right to further inspect all plant material upon arrival at the site and during installation for size and condition of root balls, limbs, branching habit, insects, injuries, and latent defects.

5. Owner and/or Architect/Engineer may reject unsatisfactory or defective material at any time during the process of work. Remove rejected materials from the site immediately. Plants damaged in transit or at job site shall be rejected.

1.8 PRODUCT DELIVERY, STORAGE AND HANDLING

A. Preparation:

1. Balled and Burlapped (B&B) Plants: Dig and prepare shipment in a manner that will not damage roots, branches, shape, and future development.

2. Container Grown Plants: Deliver plants in rigid container to hold ball shape and protect root moss.

B. Delivery:

1. Deliver packaged materials in sealed containers showing weight, analysis and name of manufacturer. Protect materials from deterioration during delivery.
2. Deliver only plant materials that can be planted in one day unless adequate watering and watering facilities are available on job site.
3. Protect root balls by heeling in with sawdust or other approved moisture retaining material if not planted within 24 hours of delivery.
4. Protect plants during delivery to prevent damage to root balls or desiccation of leaves. Keep plants moist at all times. Cover all materials during transport.
5. Notify Architect/Engineer of delivery schedule 72 hours in advance so plant material may be observed upon arrival at job site.
6. Remove rejected plant material immediately from site.
7. To avoid damage or stress, do not lift, move, adjust to plumb, or otherwise manipulate plants by trunk or stems.

PART 2 – PRODUCTS

2.1 PLANTS

A. General: Well formed No. 1 grade or better nursery grown stock. Listed plant heights are from tops of root balls to nominal tops of plants. Plant spread refers to nominal outer width of the plant, not to the outer leaf tips. Plants will be individually approved by the Architect/Engineer and his decision as to their acceptability shall be final.

B. Quantities: The drawings and specifications are complementary; anything called for on one and not the other is as binding as if shown and called for on both. The plant schedule is an aid to bidders only. Confirm all quantities on plan.

C. Quality and size: Plant materials shall conform to the size given on the plan, and shall be healthy, symmetrical, well shaped, full branched, and well rooted. The plants shall be free from injurious insects, diseases, injuries to the bark or roots, broken branches, objectionable disfigurements, insect eggs and larvae and are to be of specimen quality.

D. Approval: All plant materials shall be subject to the approval of the Owner and/or Landscape Architect/Engineer. All plants which are found unsuitable in growth, or in any unhealthy, badly shaped, or undersized condition, will be rejected by the Landscape Architect/Engineer, either before or after planting, and shall be removed at the expense of the Landscape Contractor and replaced with acceptable plants as specified.

E. Trees shall be healthy, full branched, well shaped, and shall meet the trunk diameter and height requirements of the plant schedule. Balled and Burlapped shall be firm, neat, slightly tapered, and well wrapped in burlap. Any tree loose in the ball or with broken ball at time of planting will be rejected. Balls shall be ten (10") inches in diameter for each one (1") inch of trunk diameter, measured six (6") inches above ball.

a. Nomenclature conforms to customary nursery usage; for clarification, the term "multi-trunk" defines a plant having three (3) or more trunks of nearly equal diameter.

F. Pruning: All pruning of trees and shrubs, as directed by Landscape Architect/Engineer, shall be executed by Landscape Contractor at no additional cost to the Owner.

2.2 SOIL PREPARATION MATERIALS

A. Sandy Loam:

1. Friable, fertile, dark, loamy soil, free of clay lumps, subsoil, stones and other extraneous material and reasonably free of weeds and foreign grasses. Loam containing Dallasgrass or Nutgrass shall be rejected.
2. Physical properties as follows:
 - a. Clay-between 7-27 percent
 - Silt-between 15-25 percent
 - Sand-less than 52 percent
3. Organic matter shall be 3% – 10% of total dry weight.
4. If requested, provide a certified soil analysis conducted by an approved soil testing laboratory verifying that sandy loam meets the above requirements.

B. Organic Material: Compost with a mixture of 80% vegetative matter and 20% animal waste. Ingredients should be a mix of coarse and fine textured material.

C. Premixed Bedding Soil as supplied by Vital Earth Resources, Gladewater, Texas: Professional Bedding Soil as supplied by Living Earth Technology, Dallas, Texas or Acid Gro Municipal Mix as supplied by Soil Building Systems, Dallas, Texas or approved equal.

D. Sharp Sand: Sharp sand must be free of seeds, soil particles and weeds.

E. Mulch: Double Shredded Hardwood Mulch, partially decomposed, dark brown, Living Earth Technologies or approved equal.

F. Organic Fertilizer: Fertilaid, Sustane, or Green Sense or equal as recommended for required applications. Fertilizer shall be delivered to the site in original unopened containers, each bearing the manufacturer's guaranteed statement of analysis.

G. Commercial Fertilizer: 10-20-10 or similar analysis. Nitrogen source to be a minimum 50% slow release organic Nitrogen (SCU or UF) with a minimum 8% sulfur and 4% iron, plus micronutrients.

H. Peat:Commercial sphagnum peat moss or partially decomposed shredded pine bark or other approved organic material.

2.3 MISCELLANEOUS MATERIALS

A. Steel Edging: Shall be Ryerson "Estate Curbing", 1/8" x 4" with stakes 4' on center.

B. Staking Material for Shade Trees:

1. Post: Studded T-Post, no.1 Armo with anchor plate; 6'-0 length; paint black
2. Wire: 12 gauge, single strand, galvanized wire.
3. Rubber hose: 2 ply, fiber reinforced hose, minimum ½ inch inside diameter. Color:Black

C. Gravel: Washed native pea gravel, graded 1 in. to 1-1/2 in.

D. Filter Fabric: Miraf 140N by Celanese Fibers Marketing Company, Available at Loftland Co., (214) 631-5250 or approved equal.

Section 02900 – 04

3.2 INSTALLATION

A. Maintenance of plant materials shall begin immediately after each plant is delivered to the site and shall continue until all construction has been satisfactorily accomplished.

B. Plant materials shall be delivered to the site only after the beds are prepared and are ready for planting. All shipments of nursery materials shall be thoroughly protected from the drying winds during transit. All plants, which cannot be planted at once, after delivery to the site, shall be well protected against the possibility of drying by wind and sun. Balls of earth of B & B plants shall be kept covered with soil or other acceptable material. All plants remain the property of the Contractor until final acceptance.

C. Position the trees and shrubs in their intended location as per plan.

D. Notify the Landscape Architect/Engineer for inspection and approval of all positioning of plant materials.

E. Excavate pits with vertical sides and horizontal bottom. Tree pits shall be large enough to permit handling and planting without injury to balls or earth or roots and shall be of such depth that, when planted and settled, the crown of the plant shall bear the same relation to the finish grade that it did to soil surface in place of growth.

F. Shrub and tree pits shall be no less than two (2") feet, twenty-four (24") inches wider than the lateral dimension of earth ball and six (6") inches deeper than its vertical dimension. Remove and haul from site all rocks or stones over one (1") inches in diameter. Plants should be thoroughly moist before removing containers.

G. Dig a wide, rough sided hole exactly the same depth as the height of the ball, especially at the surface of the ground. The sides of the hole should be rough and jagged, never slick or glazed.

H. Percolation Test: Fill the hole with water. If the water level does not percolate within 24 hours, the tree needs to be moved to another location or have pier hole drainage added.

I. Backfill only with 5 parts existing soil or sandy loam and 1 part bed preparation. When hole is dug in solid rock, topsoil from the same area should not be used. Carefully settle by watering to prevent air pockets. Remove the burlap from the top 1/3 of the ball, as well as all nylon, plastic string and wire mesh. Container trees will usually be pot bound, if so follow standard nursery practice of "root scoring".

J. Do not wrap trees.

K. Do not over prune.

L. Mulch the top of the ball. Do not plant grass all the way to the trunk of the tree. Leave the area above the top of the ball unplanted and mulch with at least two (2") inches of specified mulch.

M. All plant beds and trees to be mulched with a minimum settled thickness of two (2") inches over the entire bed or pit.

N. Obstruction below ground: In the event rock or underground construction work or obstructions are encountered in any plant pit excavation work to be done under this section, alternate locations may be selected by the Owner. Where locations cannot be changed, the obstructions shall be removed to a depth of not less than three (3") feet below grade and no less than six (6") inches below bottom of ball when plant is properly set at the required grade. The work of this section shall include the removal from the site of such rock or underground obstructions encountered at the cost of the Landscape Contractor.

O. Trees and large shrubs shall be staked as site conditions require. Position stakes to secure tree against seasonal prevailing winds.

P. Pruning and Mulching: Each area shall be pruned in accordance with standard horticultural practice to preserve the natural character of the plant and in the manner fitting its use in the landscape design.

1. Dead wood or suckers and broken or badly bruised branches shall be removed; general tipping of all branches is not permitted.
2. Pruning shall be done with clean sharp tools.
3. Immediately after planting operations are completed, all tree pits shall be covered with a layer of specified mulch two (2") inches in depth. This limit of the specified mulch for trees shall be the diameter of the plant pit.

Q. Steel Curbing Installation:

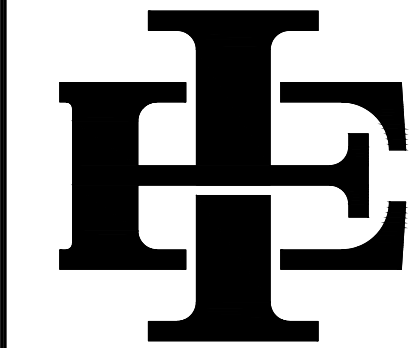
1. Curbing shall be aligned as indicated on plans.
2. All steel curbing shall be free of kinks or abrupt bends.
3. Top of curbing shall be 3/4" maximum higher than existing grade.
4. Stakes are to be installed on the planting bed side of the curbing, as opposed to the grass side.
5. Do not install steel edging along sidewalks.
6. Cut steel edging at 45 degree angle where edging meets sidewalk.

3.3 CLEANUP AND ACCEPTANCE

A. Cleanup: During the work, the premises shall be kept neat and orderly at all times. Storage areas for all materials shall be so organized that they, too, are neat and orderly. All trash and debris shall be removed from the site as work progresses. Keep paved areas clean by sweeping or hosing at end of each day's work.

END OF SECTION

Section 02900 – 08



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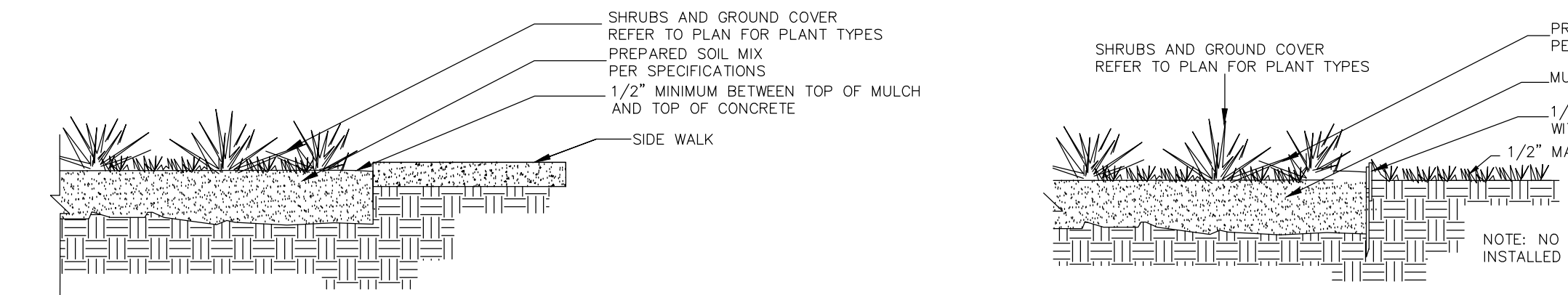
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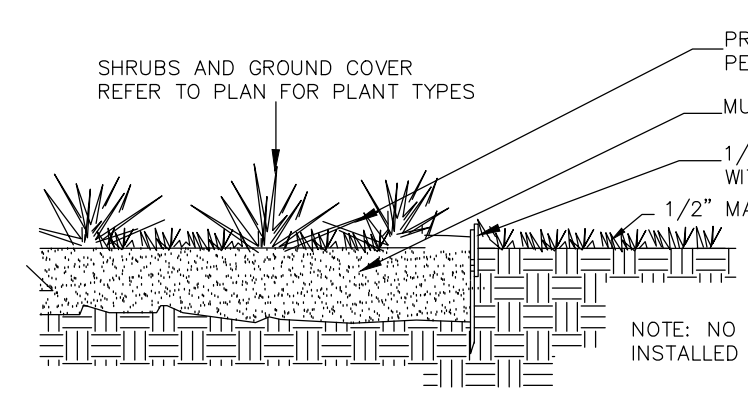
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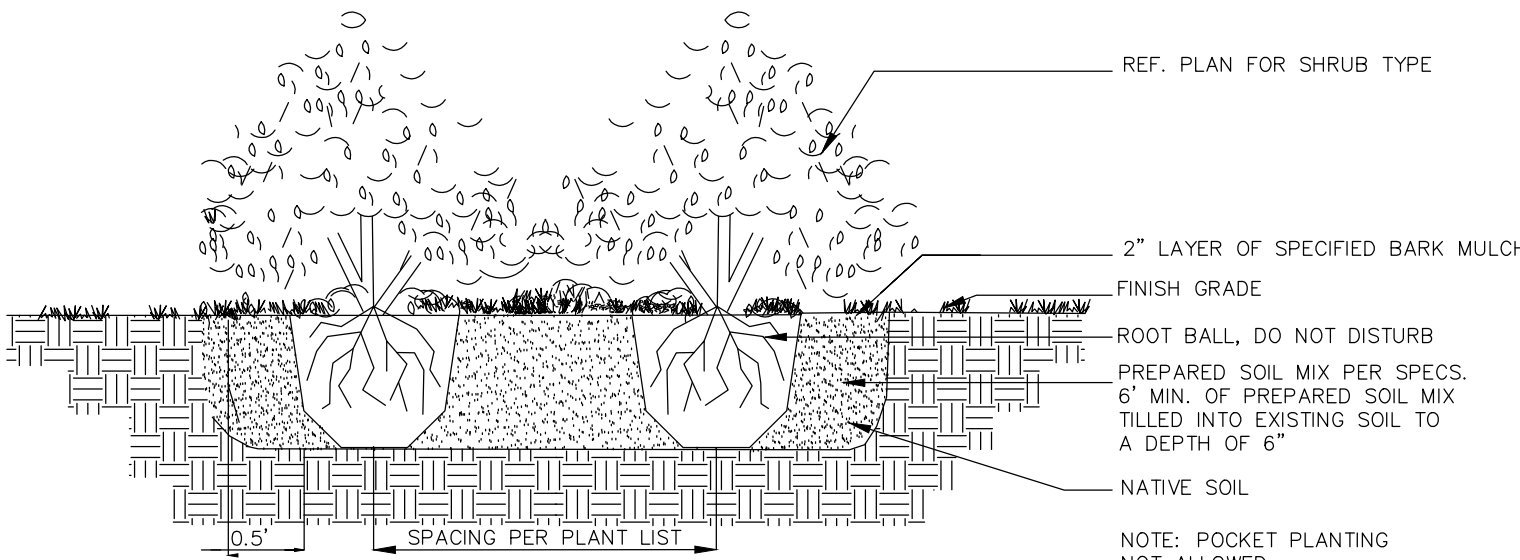
01 SIDEWALK/MULCH DETAIL

NOT TO SCALE



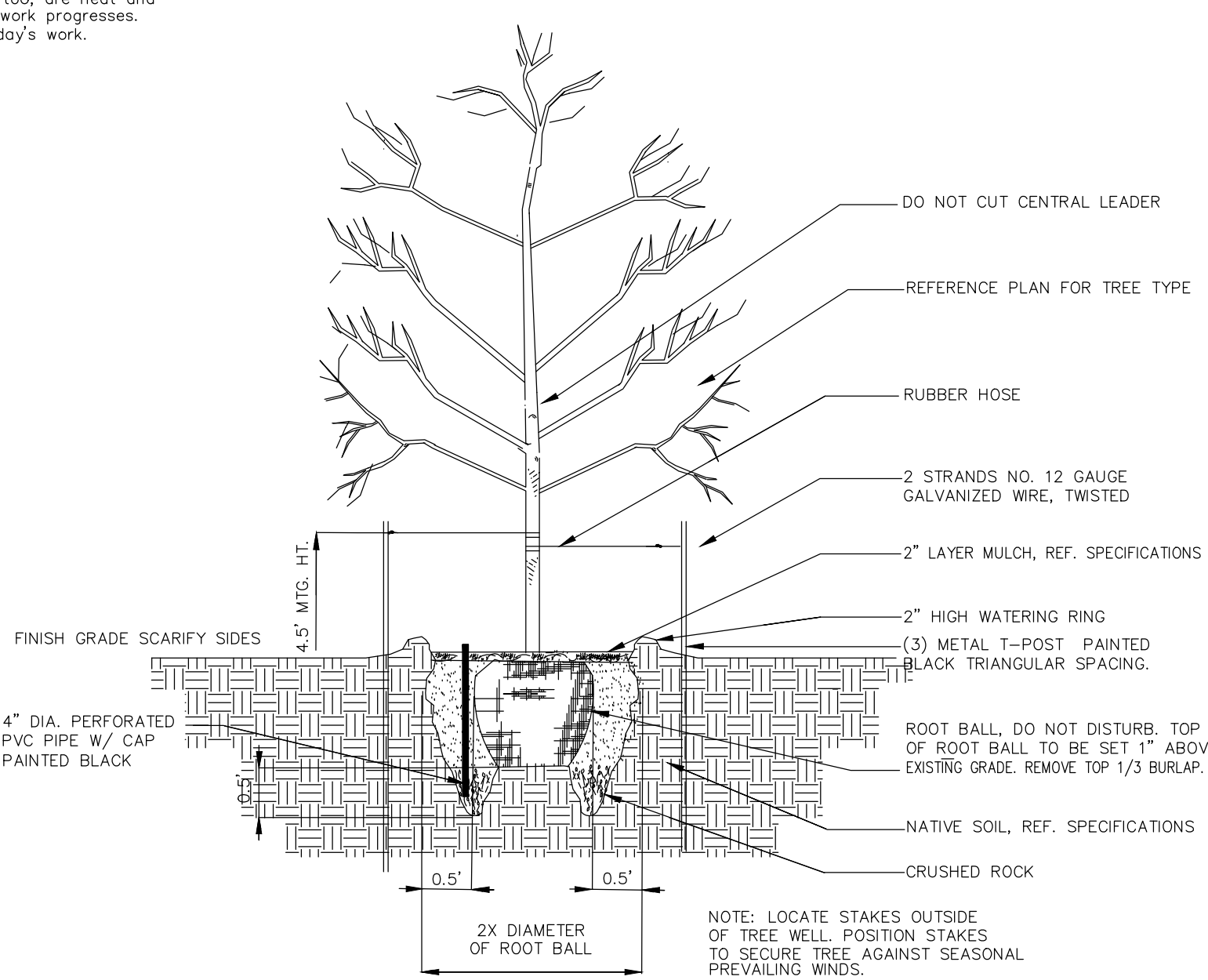
02 STEEL EDGING DETAIL

NOT TO SCALE



04 SHRUB/GROUNDCOVER DETAIL

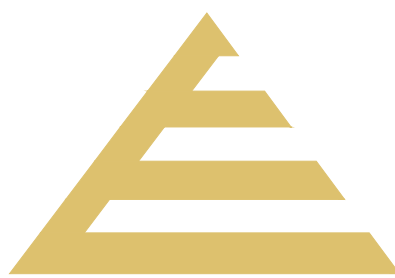
NOT TO SCALE



05 TREE PLANTING DETAIL

NOT TO SCALE

2817 FOREST PARK BLVD
FORT WORTH, TX
LOT 14 BLOCK 17



GRAND PYRAMID ENGINEERING
CONSULTANTS, LLC
REGISTRATION # F-24236 (TEXAS)
729 CREEKVIEW LN.
COLLEVILLE, TX 76034
P:(305)965-1442
P:(214)574-0911

REVISION



FOUNDATION PLAN

S1

GENERAL NOTES

I. SITE

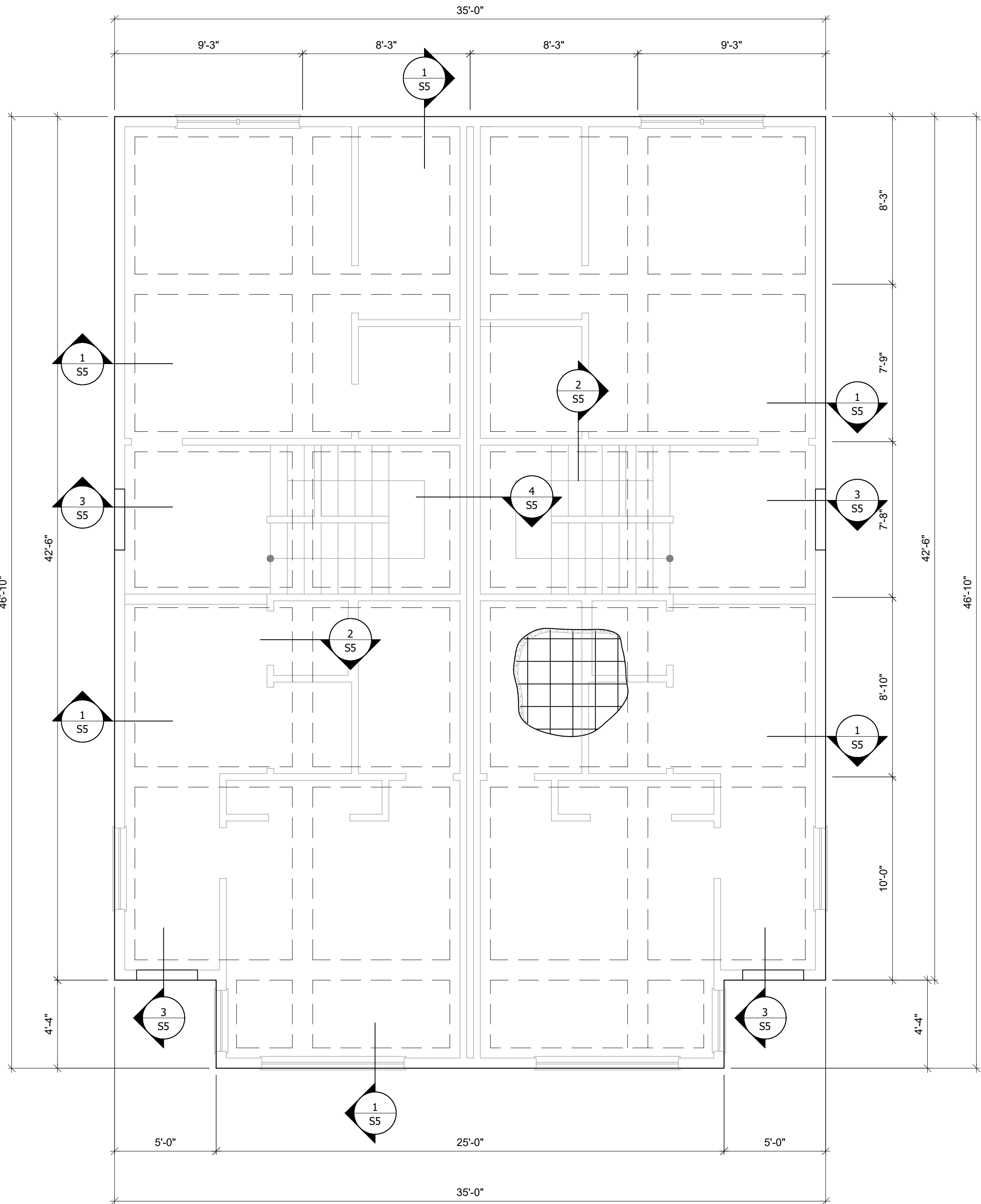
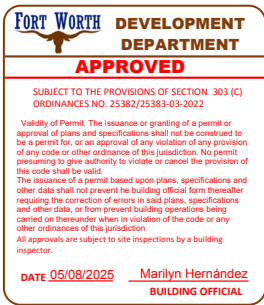
- A. THE NET ALLOWABLE SOIL BEARING CAPACITY IS 3000 PSF FOR MONOLITHIC SLAB-ON-GRADE FOUNDATION.
- B. THE FOUNDATION DESIGN IS BASED UPON GEOTECHNICAL REPORT NO. 45926 BY AMERICAN GEOTECHNICAL & CIVIL CONSULTING, INC., DATED ON SEPTEMBER 13, 2024.
- C. FOUNDATION SHALL BE FOUNDED ON NATIVE SOILS. CONTRACTOR SHALL READ AND BE FAMILIAR WITH THE PROJECT GEOTECHNICAL REPORT PRIOR TO BEGING EARTHWORK.
- D. FINE GRADING UNDER SLAB SHALL BE TRIMABLE, COMPACTABLE, GRANULAR FILL (NOT SAND).
- E. A 15 MIL. STEGO WRAP VAPOR BARRIER(0.01 PERM MAXIMUM PER ASTM E1745) SHALL BE PROVIDED ABOVE THE FINE GRADING. SUBSTITUTIONS SHALL BE APPROVED IN WRITING BY ENGINEER OF RECORD.
- F. CONTRACTOR SHALL BRACE GRADE BEAM WHILE PLACING BACKFILL OR FILL MATERIAL.

II. CONCRETE

- A. CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS.
- B. ALL SLABS TO RECEIVE FLOOR COVERINGS SHALL HAVE A MAXIMUM WATERCEMENTITIOUS MATERIAL RATIO OF 0.45, OR PROVIDE OTHER TOPICAL MEANS OF MOISTURE RESISTANCE ACCEPTABLE TO FLOORING MANUFACTURER.
- C. REINFORCING STEEL SHALL BE ASTM A615 GRADE 60 UNLESS NOTED OTHERWISE. PROVIDE ASTM A706 GRADE 60 BARS FOR WELDED REINFORCEMENT.
- D. LAP REINFORCING SPLICES #6 AND SMALLER BARS - 57 BAR DIAMETERS WITH 24" MINIMUM UNLESS NOTED OTHERWISE.
- E. PROVIDE CORNER BARS WITH 30 BAR DIAMETER LAP TO MATCH HORIZONTAL REINFORCEMENT AT ALL GRADE BEAM AND WALL INTERSECTIONS. 2'-0" LAP MINIMUM.
- F. ALL REINFORCEMENT SHALL BE DETAILED IN ACCORDANCE WITH THE LATEST ACI DETAILING MANUAL.
- G. CONTRACTOR SHALL COORDINATE ALL PENETRATIONS, CONDUIT, CHAMFERS AND EMBEDDED ITEMS PRIOR TO CONCRETE PLACEMENT.
- H. SET ANCHOR RODS TO HAVE AT LEAST 3" CONCRETE COVER AND TO ALLOW REINFORCEMENT TO PASS OUTSIDE OF RODS.

PLAN NOTES:

1. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL DIMENSIONS AND ELEVATIONS PRIOR TO BEGINNING CONSTRUCTION.
2. REFER TO THIS SHEET GENERAL NOTES.
3. REFER TO SHEET S5 FOR DETAILS NOT NOTED ON PLAN.
4. TOP OF CONCRETE ELEVATION = 0'-0".
5. FLOOR SLAB SHALL BE 5" THICK CONCRETE REINFORCED WITH #3 @ 14" O.C.B.W. CENTERED IN SLAB.
6. PROVIDE(2) #4 X 3'-0" DOWELS CENTERED IN SLAB AT ALL INTERIOR CORNERS WITHOUT A CONSTRUCTION OR SAWN JOINT.
7. REFER TO ARCHITECTURAL FOR LOCATION AND EXTENT OF ALL LEDGES, POCKETS OR DEPRESSIONS.
8. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS INCLUDING STRUCTURAL FRAMING SHOP DRAWING TO ENGINEER FOR REVIEW PRIOR TO POURING CONCRETE.



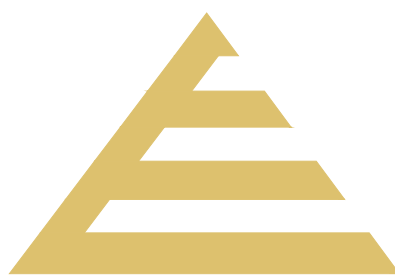
1
S1

FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

012348

2817 FOREST PARK BLVD
FORT WORTH, TX
LOT 14 BLOCK 17

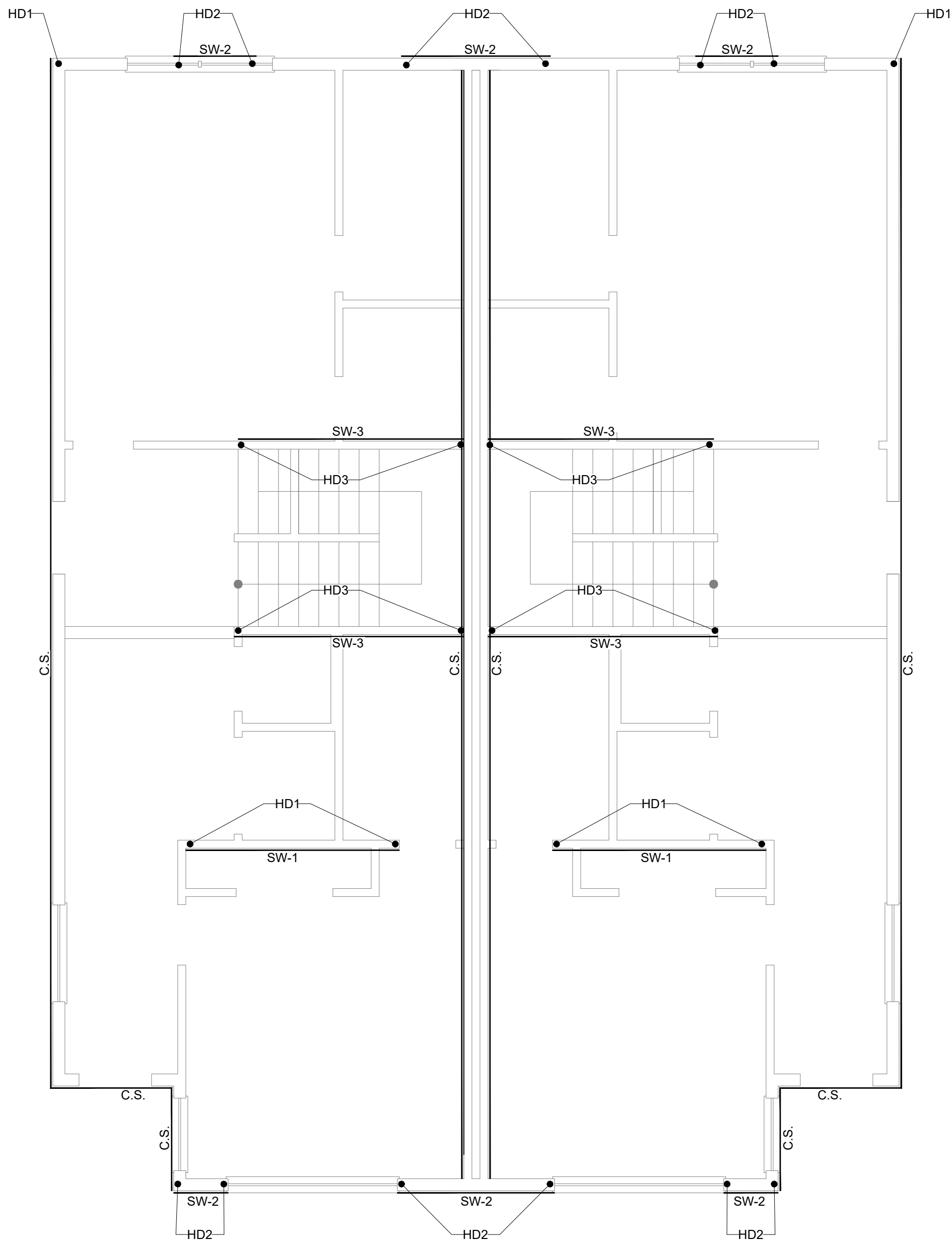
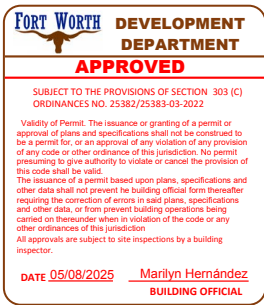

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P:(214)574-0911

REVISION



1ST FLOOR
SHEARWALL PLAN

S2



- PLAN NOTES:
1. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL DIMENSIONS AND ELEVATIONS PRIOR TO BEGINNING CONSTRUCTION.
 2. SW# INDICATES SHEAR WALLS. REFER TO SHEAR WALL SCHEDULE ON SHEET S6.
 3. HD# INDICATES HOLD DOWN LOCATIONS. REFER TO HOLD DOWN SCHEDULE ON SHEET S6.
 4. STR# INDICATES STRAP LOCATIONS. REFER TO STRAP SCHEDULE AND DETAIL ON SHEET S6.
 5. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS INCLUDING STRUCTURAL FRAMING SHOP DRAWING TO ENGINEER FOR REVIEW PRIOR TO POURING CONCRETE.

THIS PLAN WAS DESIGNED BASED ON A WINDSPEED OF:
105 MPH (V_{90}) EXPOSURE: B
90 MPH (V_{100})

THE EXTERIOR WALLS SHALL BE CONTINUOUSLY SHEATHED WITH 3/8 PLYWOOD WITH MIN. 6D NAILS AT 6" O.C. EDGE/12" O.C. FIELD

1

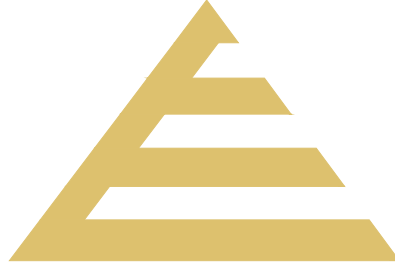
S2

1ST FLOOR SHEARWALL PLAN

SCALE: 1/4" = 1'-0"

0 1 2 3 4 8

2817 FOREST PARK BLVD
FORT WORTH, TX
LOT 14 BLOCK 17

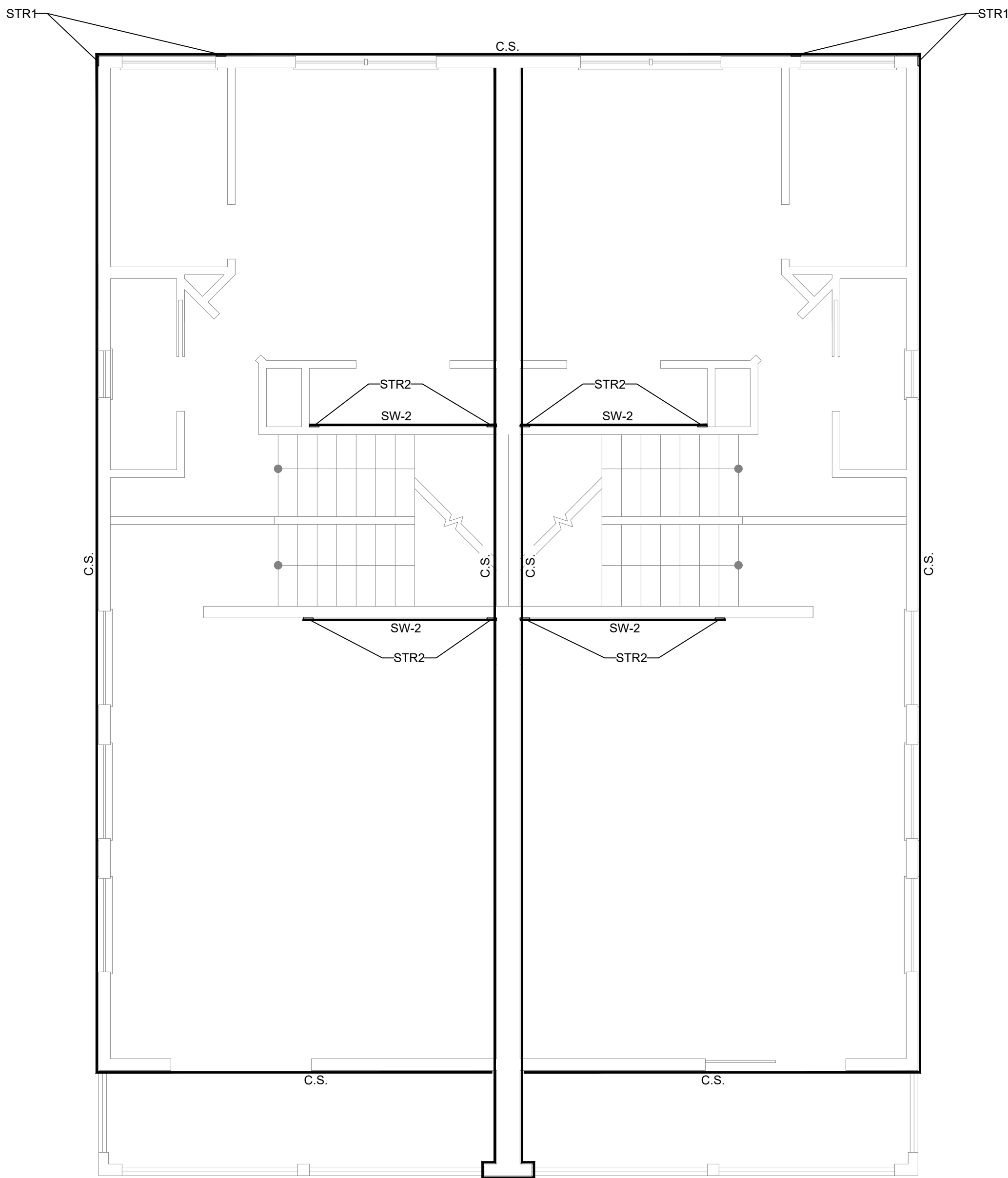

GRAND PYRAMID ENGINEERING
CONSULTANTS, LLC
REGISTRATION # F-24236 (TEXAS)
729 CREEKVIEW LN.
COLLEENVILLE, TX 76034
P:(305)965-1442
P:(214)574-0911

REVISION



2ND FLOOR
SHEARWALL

S3



- PLAN NOTES:
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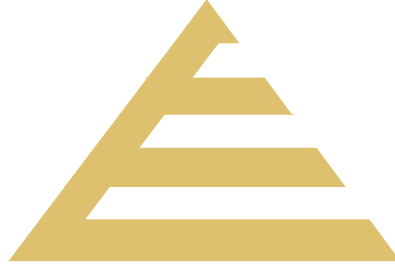
1
S3

SCALE: 1/4" = 1'-0"

012348

2ND FLOOR SHEARWALL

2817 FOREST PARK BLVD
FORT WORTH, TX
LOT 14 BLOCK 17



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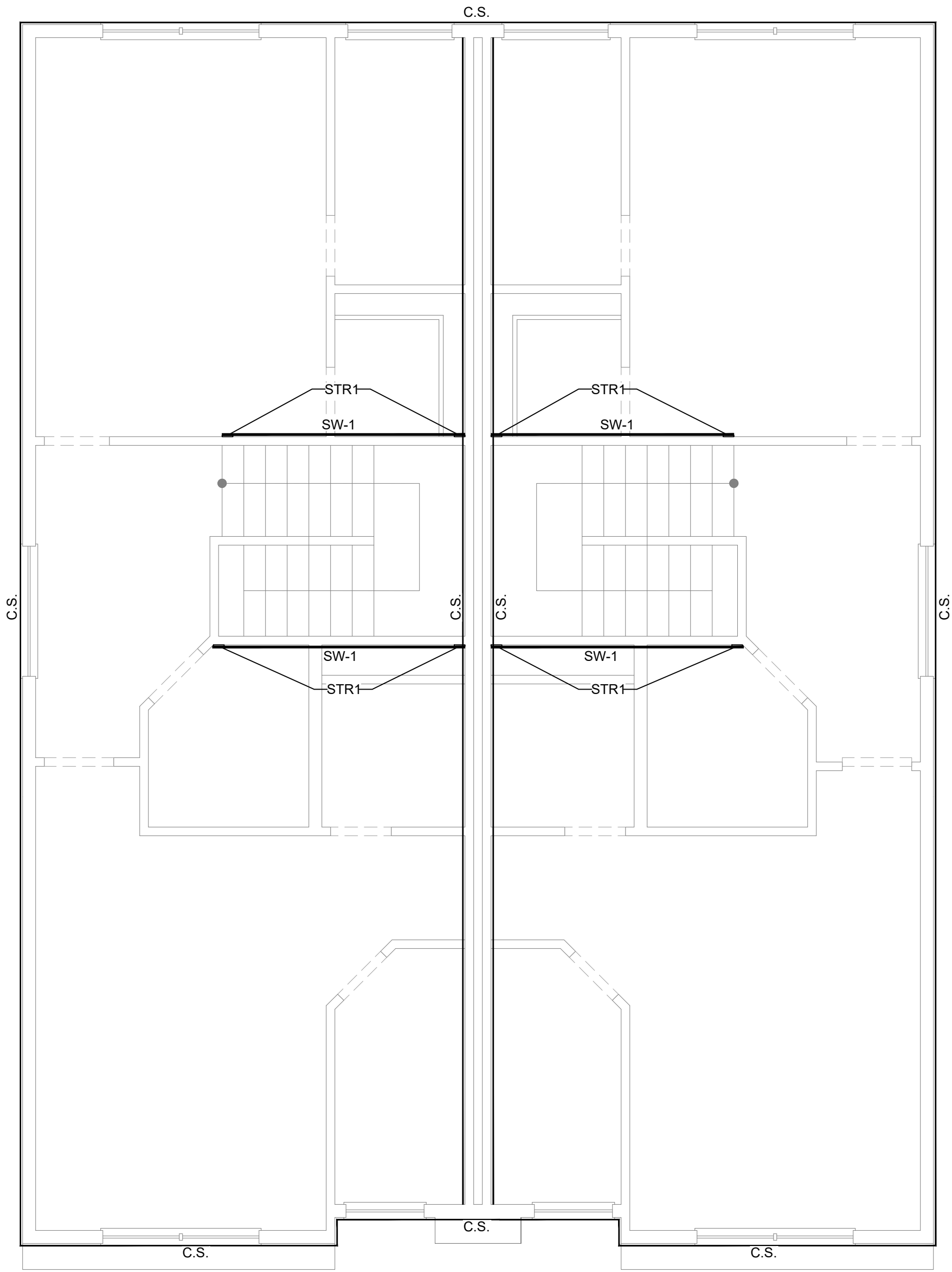
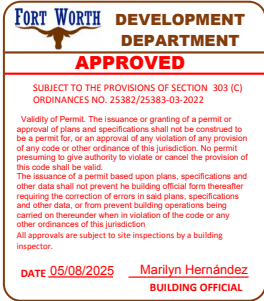
REVISION



04-28-25

3RD FLOOR
SHEARWALL

S4



- PLAN NOTES:
1. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL DIMENSIONS AND ELEVATIONS PRIOR TO BEGINNING CONSTRUCTION.
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1

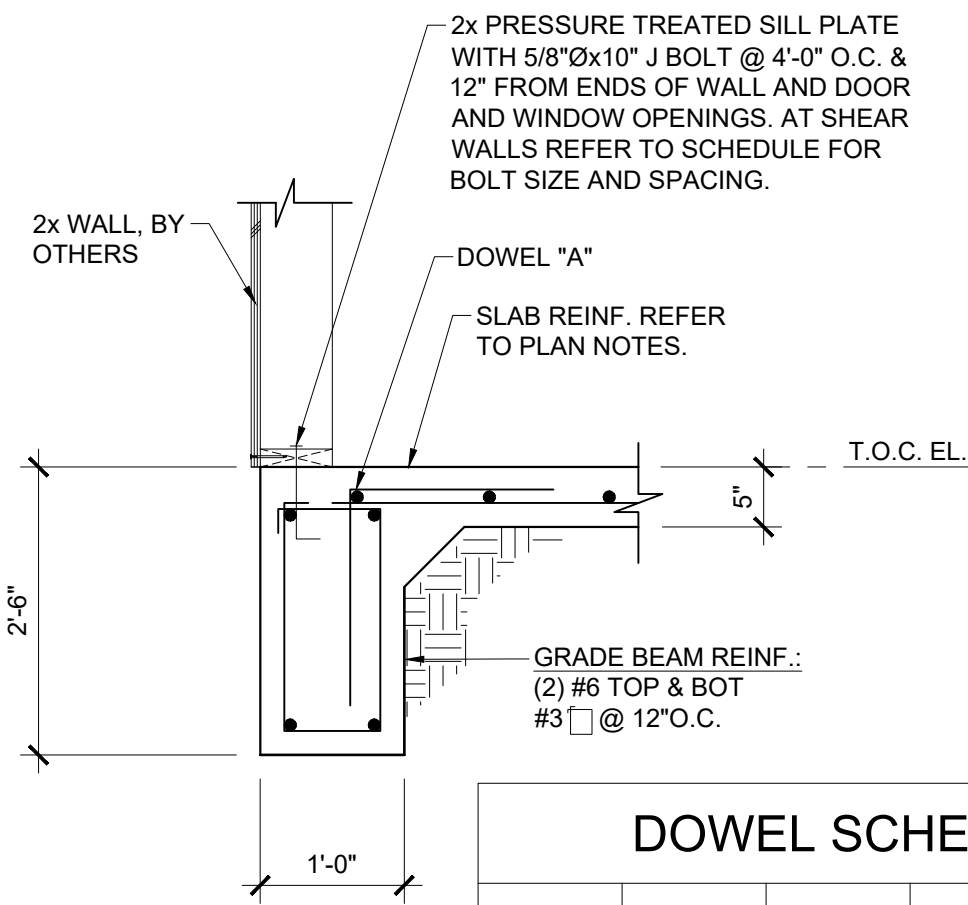
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3RD FLOOR SHEARWALL

SCALE: 1/4" = 1'-0"

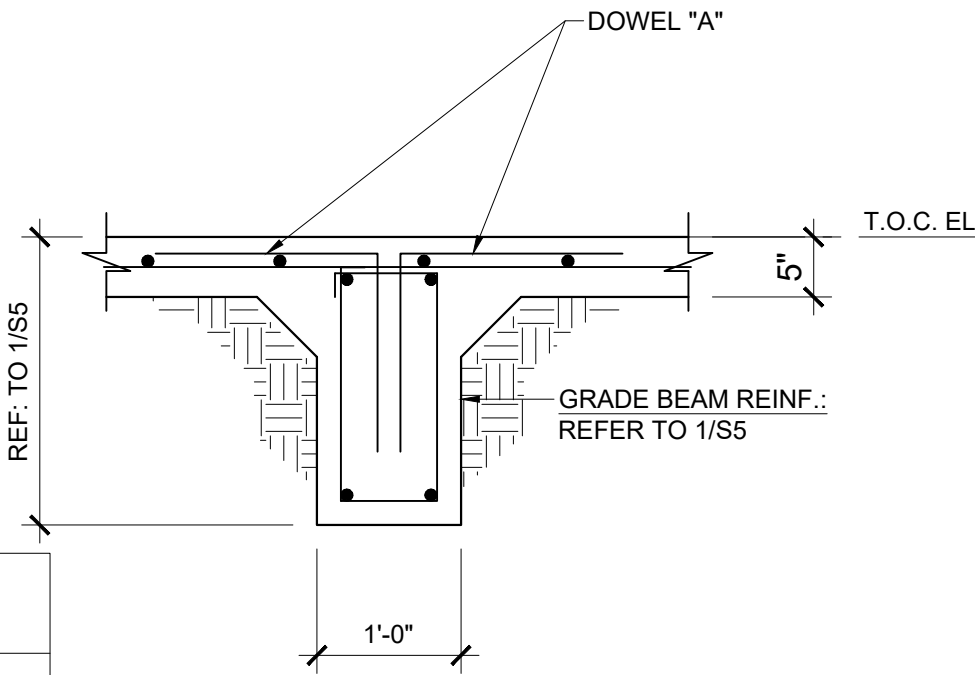


2817 FOREST PARK BLVD
FORT WORTH, TX
LOT 14 BLOCK 17

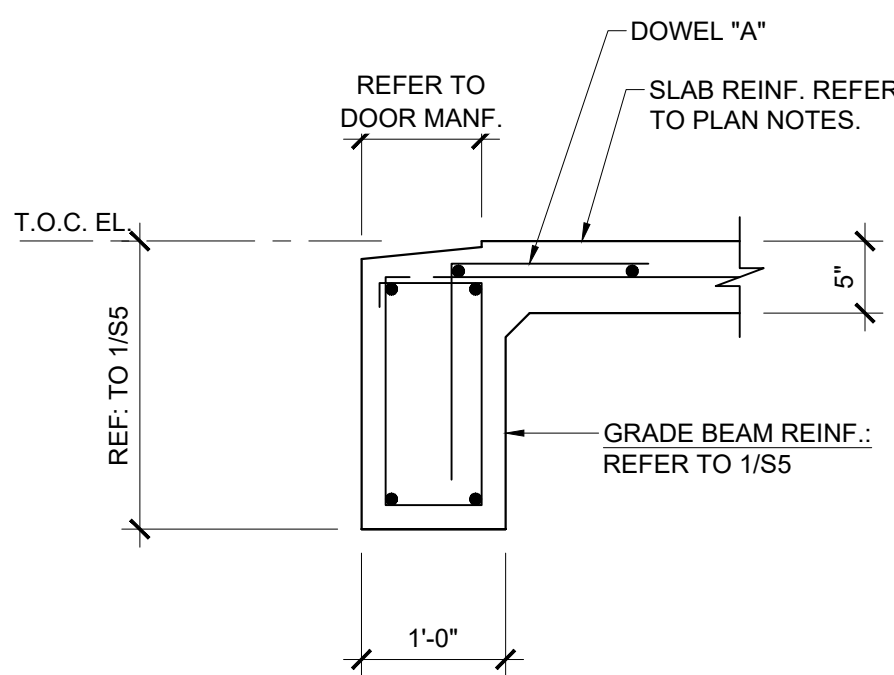


DOWEL SCHEDULE				
MARK	SIZE	VERT. LENGTH	HORIZ. LENGTH	SPACING
A	#3	1'-6"	1'-6"	18" O.C.

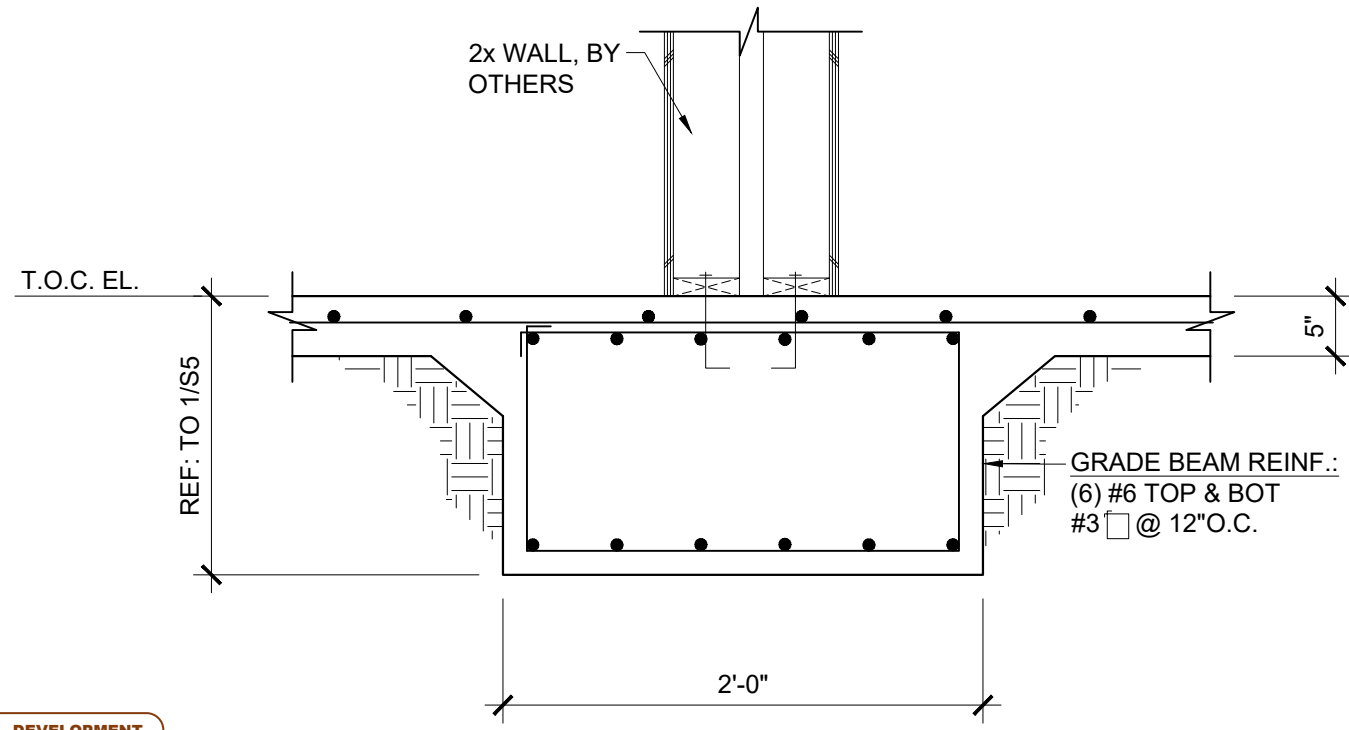
1 **DETAIL**
SCALE: 3/4"=1'-0"



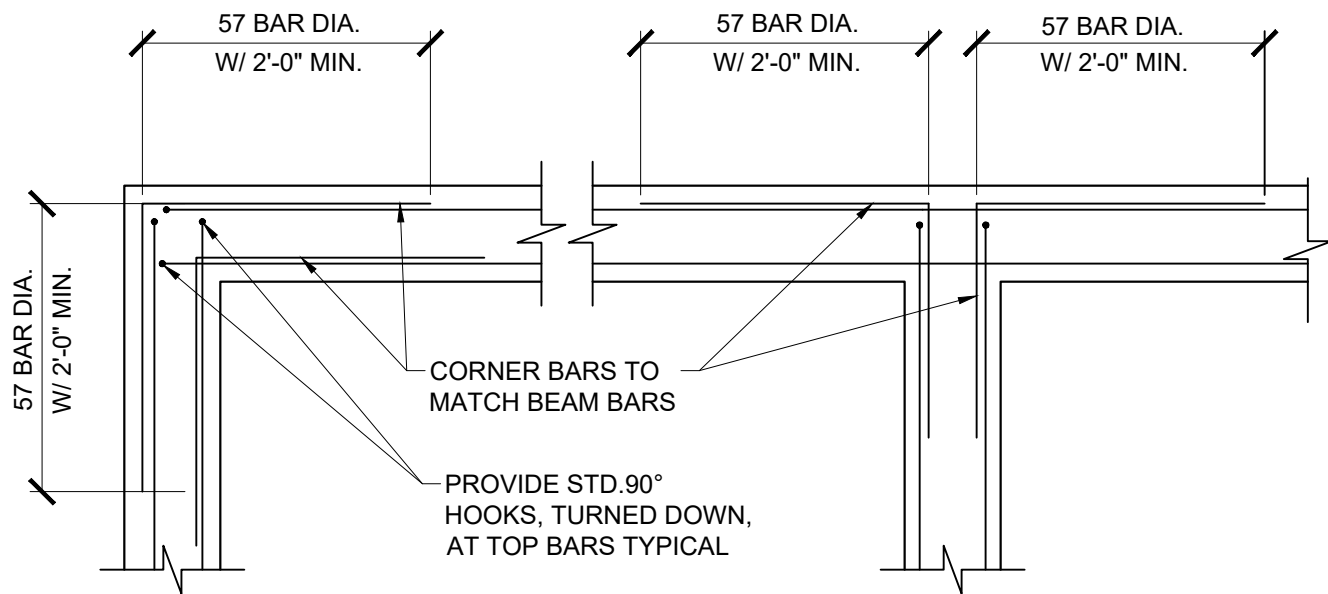
2 **DETAIL**
SCALE: 3/4"=1'-0"



3 **DETAIL**
SCALE: 3/4"=1'-0"



4 **DETAIL**
SCALE: 3/4"=1'-0"



5 **DETAIL**
SCALE: 3/4"=1'-0"

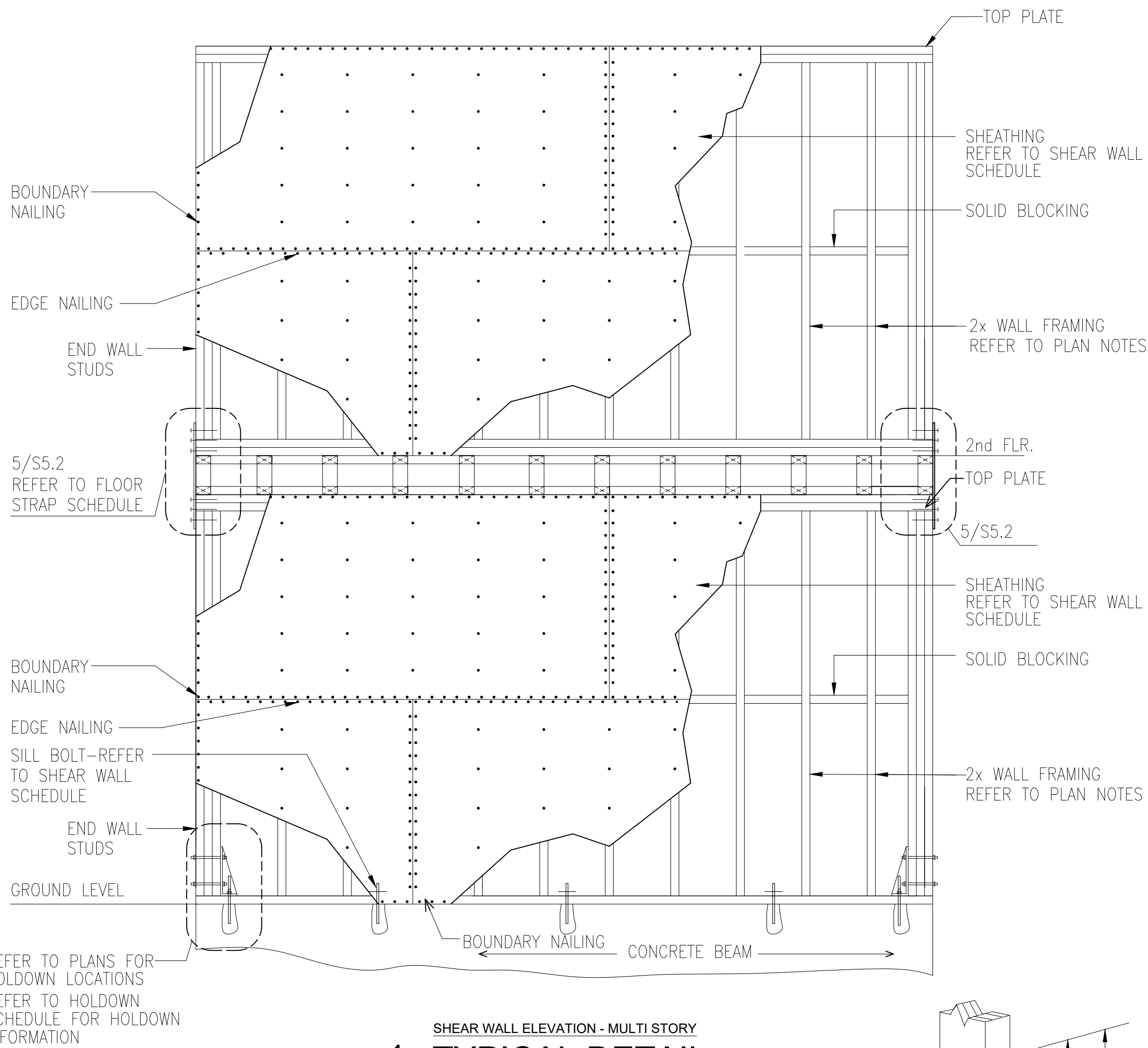

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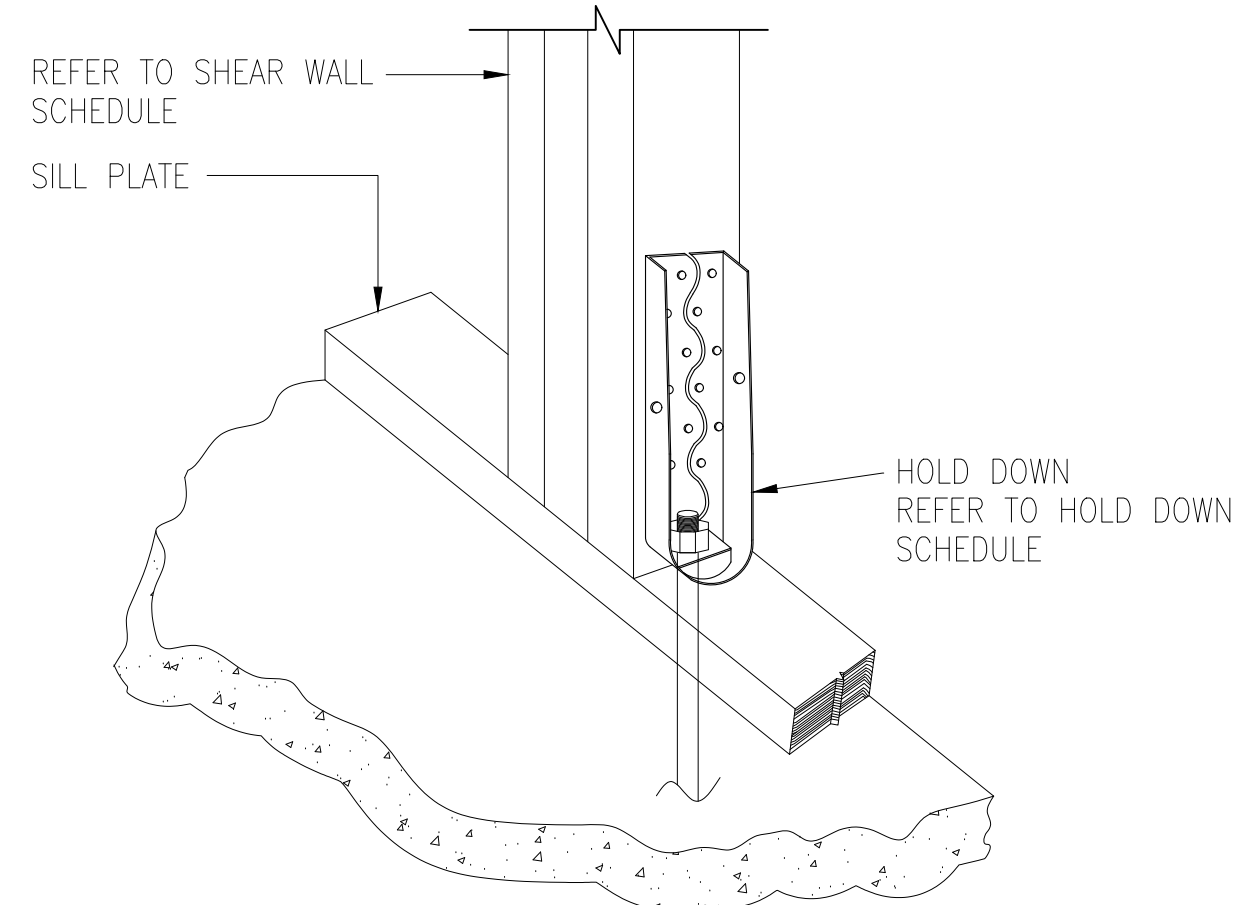


FOUNDATION DETAILS

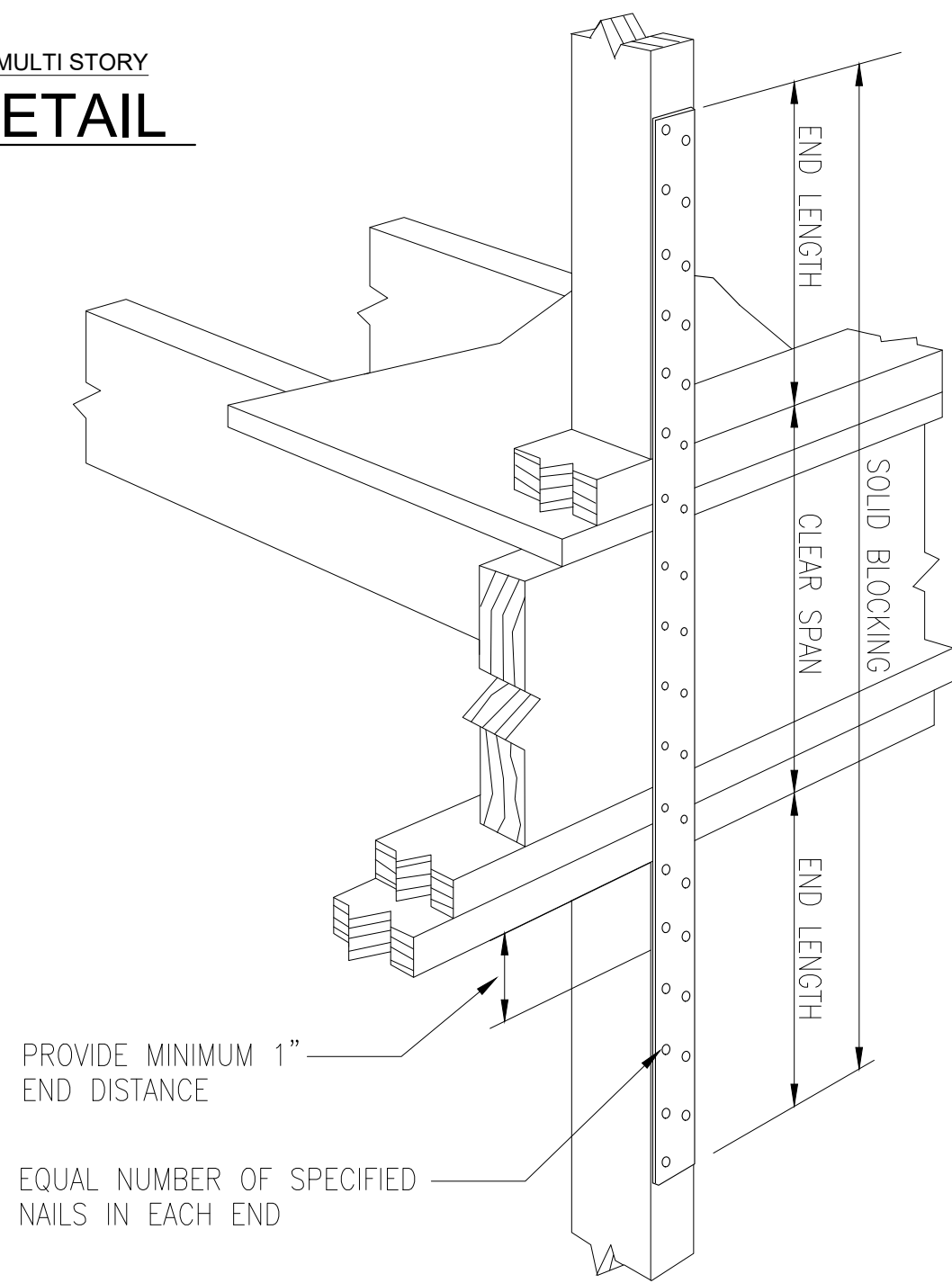
S5



SHEAR WALL ELEVATION - MULTI STORY
1 TYPICAL DETAIL
SCALE: N.T.S.



HOLD DOWN
2 TYPICAL DETAIL
SCALE: N.T.S.



SIMPSON COIL STRAPPING
3 TYPICAL DETAIL
SCALE: N.T.S.

SHEAR WALL SCHEDULE

SHEAR PANEL MARK	LEVEL	WALL SHEATHING	BLOCKING	PANEL EDGE & BOUNDARIES NAILING	PANEL FIELD & INTERMEDIATE NAILING	ANCHOR ATTACHMENT WALL SILL TO FLOOR
SW-1	FLOOR/GROUND	15/32" APA RATED SHEATHING, ONE SIDE	48" O.C.	8d @ 4" O.C.	8d @ 12" O.C.	16d @ 4"O.C. / HILTI X-CP72 @ 12"O.C.
SW-2	FLOOR/GROUND	19/32" APA RATED SHEATHING, ONE SIDE	48" O.C.	10d @ 3" O.C.	10d @ 12" O.C.	16d @ 2"O.C. / (2) HILTI X-CP72 @ 3"O.C.
SW-3	GROUND	19/32" APA RATED SHEATHING, ONE SIDE	48" O.C.	10d @ 2" O.C.	10d @ 12" O.C.	HILTI X-CP72 @ 3"O.C.

HOLD DOWN SCHEDULE

SW	SIMPSON H.D.	HILTI ANCHORS	BOLTS TO VERTICAL STUDS	CAPACITY	VERTICAL STUDS AT HOLD DOWN
HD1	HDU2-SDS2.5	SIMPSON 5/8" Ø SB W/ 12" EMBED	SDS SCREWS	3075 LB	(2) 2X
HD2	HDU11-SDS2.5	SIMPSON 1" Ø SB W/ 20" EMBED	SDS SCREWS	11175LB	(5) 2X
HD3	HDU14-SDS2.5	SIMPSON 1" Ø SB W/ 20" EMBED	SDS SCREWS	14375LB	(5) 2X

FLOOR TO FLOOR SW STRAP SCHEDULE

SHEARWALL	SIMPSON STRAP	CAPACITY
STR1	MSTC52	4620 LB
STR2	(2)MSTC52	2x 4620 LB



2817 FOREST PARK BLVD
FORT WORTH, TX
LOT 14 BLOCK 17

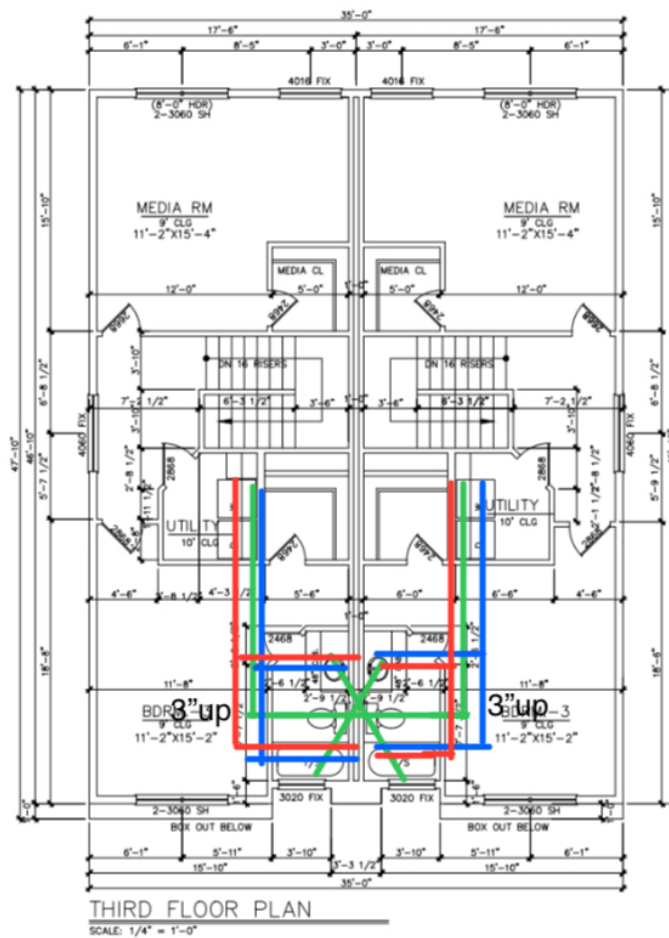
GRAND PYRAMID ENGINEERING CONSULTANTS, LLC
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COLLEVILLE, TX 76034
P:(305)965-1442
P:(214)574-0911

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TYPICAL DETAILS &
SCHEDULES

S6



EDWARD & ISAAC
DESIGNS LLC.
5017 NASH LANE
FORT WORTH, TX 76244
OFFICE: (214)-395-4683

We warrant that these plans were prepared by a duly licensed professional engineer or architect, and that they conform to the requirements of the applicable building code and other applicable laws and regulations. We warrant that the plans were prepared by a duly licensed professional engineer or architect, and that they conform to the requirements of the applicable building code and other applicable laws and regulations. We warrant that the plans were prepared by a duly licensed professional engineer or architect, and that they conform to the requirements of the applicable building code and other applicable laws and regulations.

OWNER INFORMATION

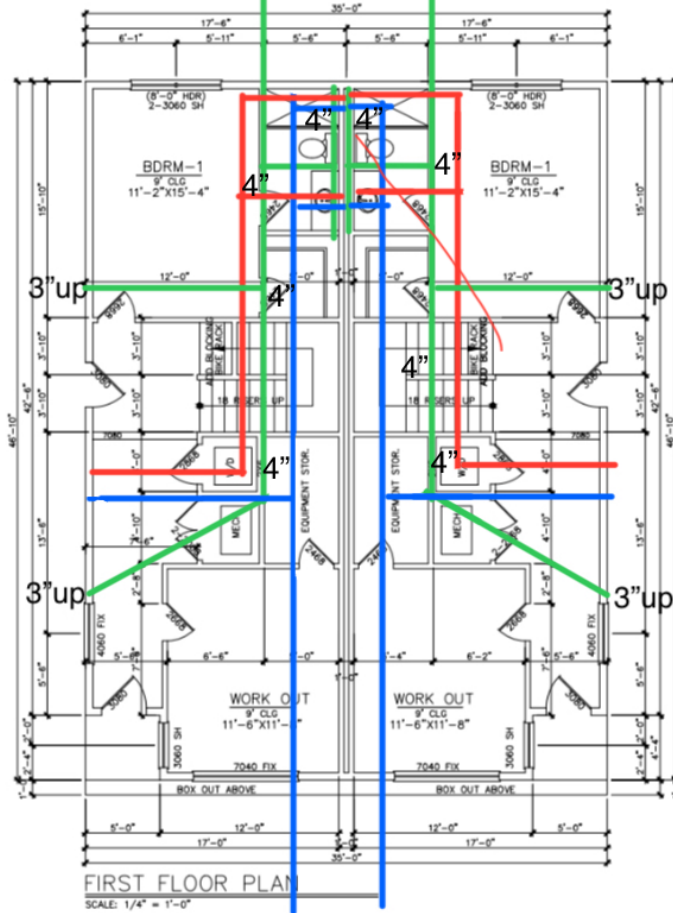
ADDRESS:
2817 FOREST PARK BLVD.
FORT WORTH, TX 76110
LOT: 14 BLOCK: 17

ISSUE DATE
02.03.2025
DRAFTSPERSON
MEM

4" Double clean outs

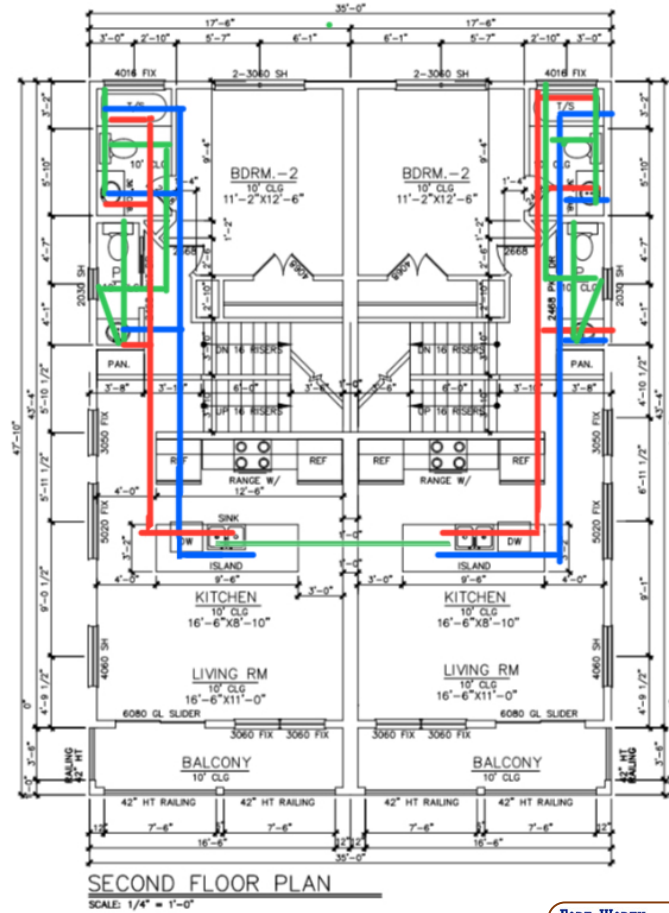
Will connect to same sewer line 4"

Double clean outs 4"



SQ. FOOTAGES - UNIT 1	
First Floor	798 SQ. FT.
Second Floor	686 SQ. FT.
Third Floor	743 SQ. FT.
Total Living Area	2244 SQ. FT.
Total Slab	820 SQ. FT.
Porch	22 SQ. FT.
2nd Floor Balcony	79 SQ. FT.
Total Under Roof	2328 SQ. FT.

SQ. FOOTAGES - UNIT 1	
First Floor	798 SQ. FT.
Second Floor	686 SQ. FT.
Third Floor	743 SQ. FT.
Total Living Area	2244 SQ. FT.
Total Slab	820 SQ. FT.
Porch	22 SQ. FT.
2nd Floor Balcony	79 SQ. FT.
Total Under Roof	2328 SQ. FT.



2 tankless on each side
1 1/4" main water line
1" & 3/4" hot water line
1" most cold water line

Pipe size for second and third floor
is 3" and 2" and 1 1/2"

FORT WORTH DEVELOPMENT DEPARTMENT	
APPROVED	
SUBJECT TO THE PROVISIONS OF SECTION 303 (C) ORDINANCES NO. 25382/25383-03-2022	
Validity of Permit: The issuance or granting of a permit or approval of plans and specifications shall not be construed to be a permit for, or an approval of any violation of any provision of any code or other ordinance of this jurisdiction. No permit is intended to give authority to violate or cancel the provision of this code shall be valid.	
The issuance of a permit based upon plans, specifications and other data shall not prevent the building official from thereafter requiring the correction of errors in said plans, specifications and other data, or from preventing building operations being carried on thereunder when in violation of the code or any other ordinances of this jurisdiction.	
All approvals are subject to site inspections by a building inspector.	
DATE 05/08/2025	Marilyn Hernández BUILDING OFFICIAL

EDWARD & ISAAC DESIGNS LLC.
5017 NASH LANE
FORT WORTH, TX 76244
OFFICE: (214) 395-4688

The Edward & Isaac Designs LLC is not responsible for any alterations, modifications, or additions to the plans, specifications, or other data, or for any violations of any code or other ordinance of this jurisdiction. Only a qualified engineer, architect, or other professional is permitted to alter the plans, specifications, or other data, or to cancel the provision of this code shall be valid.

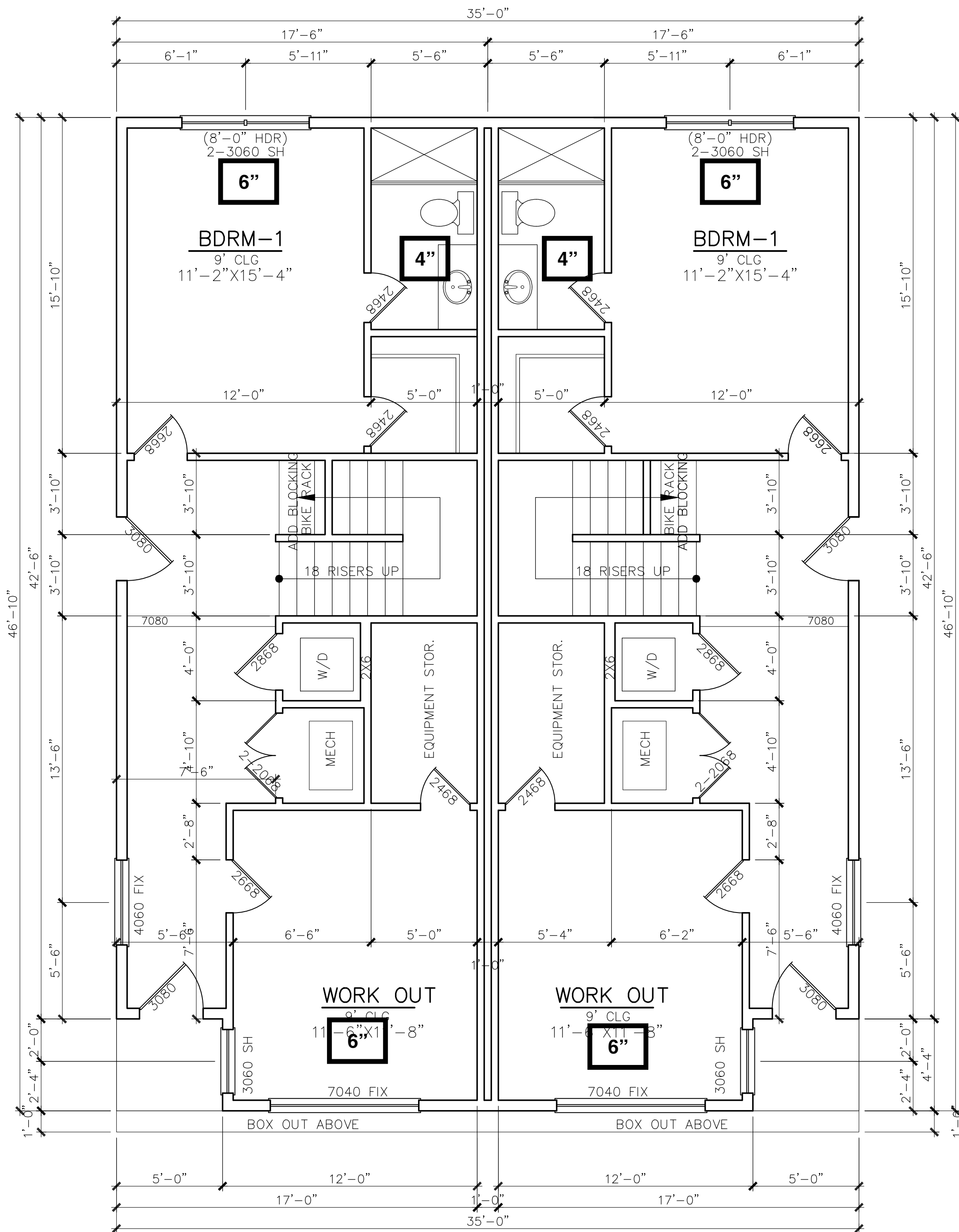
OWNER INFORMATION

2817 FOREST PARK BLVD
FORT WORTH, TX 76110
LOT: 14 BLOCK: 17

ADDRESS:

ISSUE DATE	02.03.2025
DRAFTSPERSON	MEM
PROJECT NO.	000
PLAN NUMBER	2339
SHEET NUMBER	

A 1

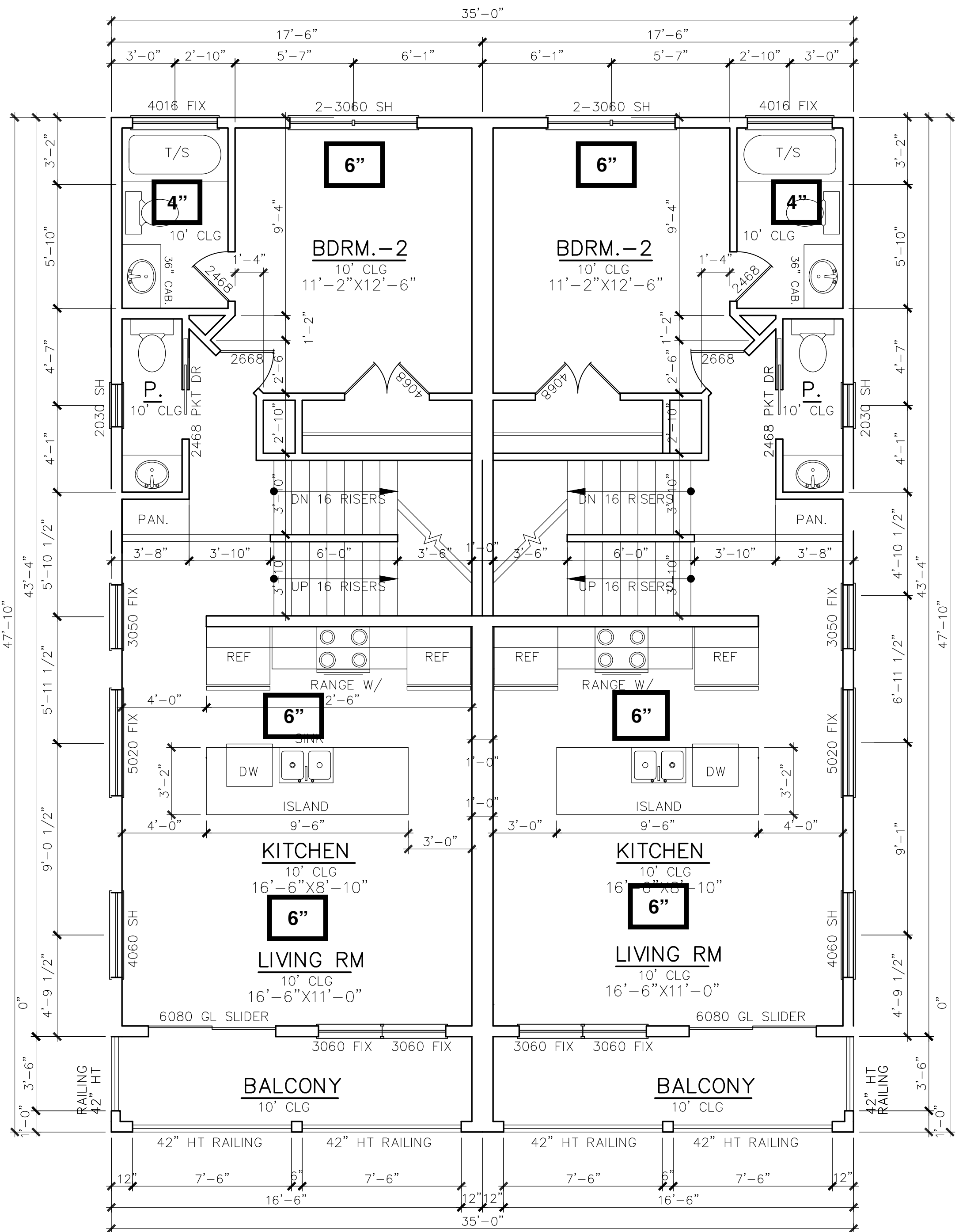


FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

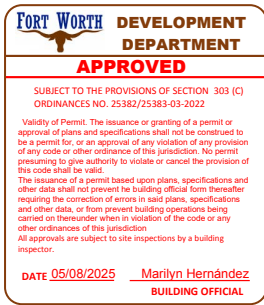
SQ. FOOTAGES – UNIT 1			
First Floor	798	SQ. FT.	
Second Floor	686	SQ. FT.	
Third Floor	743	SQ. FT.	
Total Living Area	2244	SQ. FT.	
Total Slab	820	SQ. FT.	
Porch	22	SQ. FT.	
2nd Floor Balcony	79	SQ. FT.	
Total Under Roof	2328	SQ. FT.	

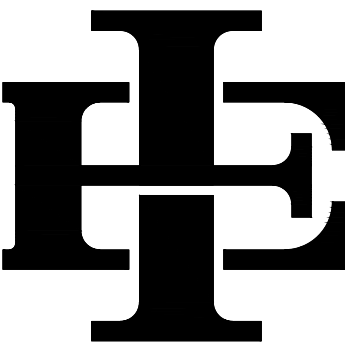
SQ. FOOTAGES – UNIT 1			
First Floor	798	SQ. FT.	
Second Floor	686	SQ. FT.	
Third Floor	743	SQ. FT.	
Total Living Area	2244	SQ. FT.	
Total Slab	820	SQ. FT.	
Porch	22	SQ. FT.	
2nd Floor Balcony	79	SQ. FT.	
Total Under Roof	2328	SQ. FT.	



SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"





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DESIGNS LLC.
5017 NASH LANE
FORT WORTH, 76244
OFFICE: (214)-395-4688

The Edward & Isaac Designs assumes no liability for any structure built from these plans. Before construction, the purchaser, builder, or contractor must verify all dimensions, verify compliance with all building codes, and incorporate site conditions. Only a qualified designer, architect, or structural engineer should be permitted to alter these plans, with written release of Edward & Isaac Designs LLC.

OWNER INFORMATION

ADDRESS:
2817 FOREST PARK BLVD
FORT WORTH, TX 76110
LOT: 14 BLOCK: 17

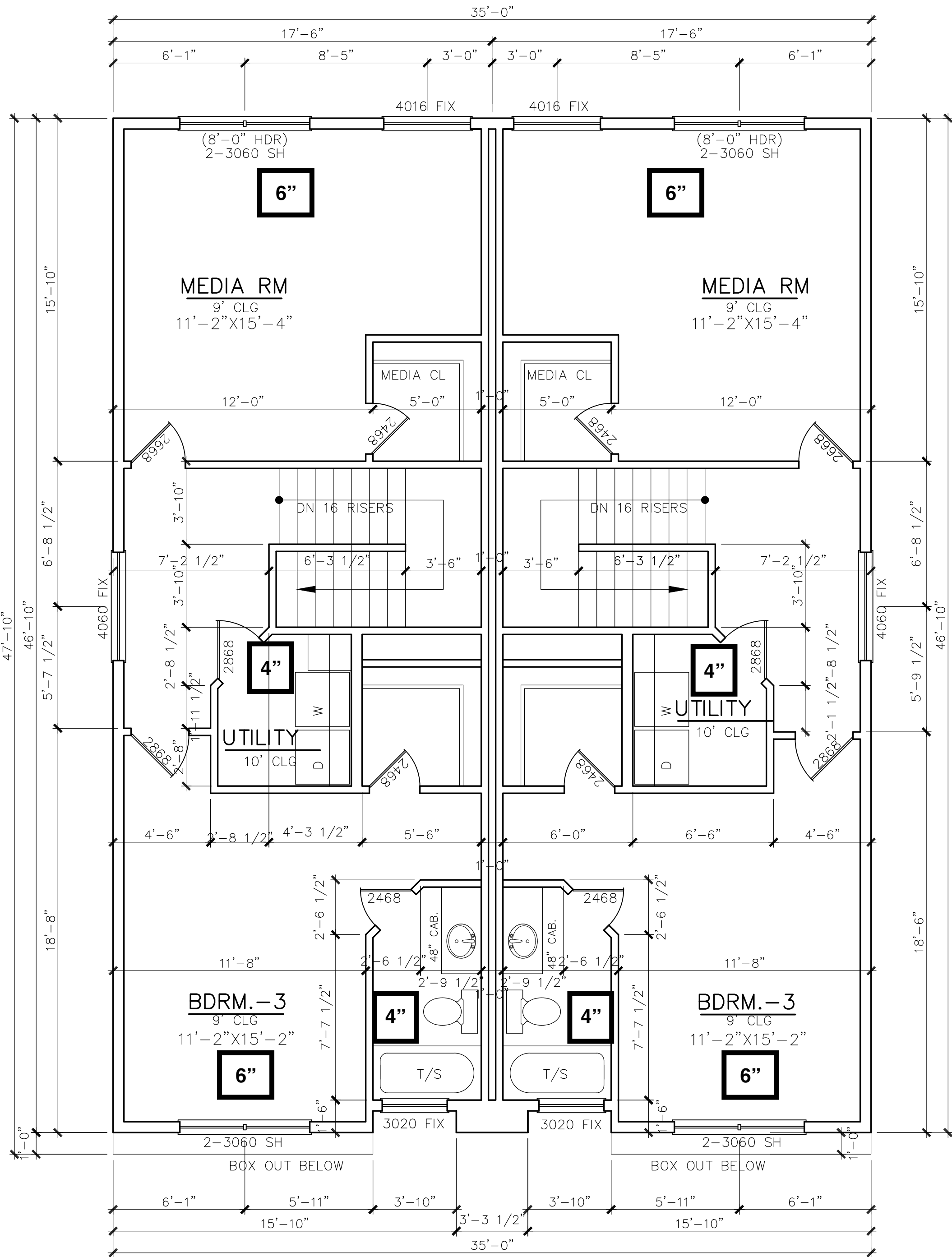
ISSUE DATE
02.03.2025

DRAFTSPERSON
MEM

PROJECT NO.
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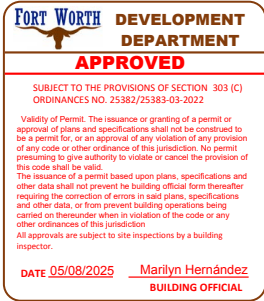
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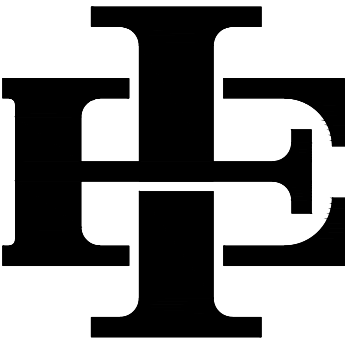
SHEET NUMBER
A-1



THIRD FLOOR PLAN

SCALE: 1/4" = 1'-0"





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DESIGNS LLC.
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FORT WORTH, 76244
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FORT WORTH, TX 76110
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ADDRESS:

ISSUE DATE	02.03.2025
DRAFTSPERSON	MEM
PROJECT NO.	000
PLAN NUMBER	2339
SHEET NUMBER	A-2