

GENERAL NOTES:

1. THESE DRAWINGS AS LISTED IN THE DRAWING INDEX ALONG WITH THE SPECIFICATION & CONTRACT FOR CONSTRUCTION CONSTITUTE THE INSTRUMENTS OF SERVICE AND ARE CONSIDERED A SINGLE ENTITY. THE CONTRACTOR IS THEREFOR BOUND BY ALL INFORMATION INCLUDED.
2. ALL WOOD BLOCKING AND/OR PLYWOOD WITHIN ANY WALL ASSEMBLY SHALL BE F.R.T.
3. DO NOT SCALE DRAWINGS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS BEFORE COMMENCING CONSTRUCTION. NOTIFY ARCHITECT IMMEDIATELY IF A CONFLICT ARISES WITH INTERPRETATION OF THE PLANS.
4. CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO BID.
5. IN CASE OF DISCREPANCIES OR CONFLICTS, NOTIFY ARCHITECT BEFORE PROCEEDING WITH ANY WORK.
6. ANY ADDITIONAL USE OF THESE DOCUMENTS FOR ANY REASON MUST BE AUTHORIZED IN WRITING BY TRIUNE ARCHITECTURE PLLC (THE COPYRIGHT HOLDER).
7. SEAL OPENINGS IN EXTERIOR WALL AND ROOF TO AVOID AIR INFILTRATION OF HVAC PLENUM.
8. ALL REQUIREMENTS OF LOCAL, STATE, AND NATIONAL ORDINANCES, REGULATIONS AND CODES OF PUBLIC HEALTH AND SAFETY SHALL BE STRICTLY OBSERVED BY THE GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS. THE INTERNATIONAL BUILDING CODE (IBC), CURRENT EDITION AND ALL APPLICABLE LOCAL, STATE AND NATIONAL CODES SHALL BECOME PART OF THESE PLANS AS IF BOUND HEREIN.
9. THE CONTRACTOR AND ALL SUBCONTRACTORS SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO PERFORMING ANY WORK, AND SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF ANY CONDITIONS THAT MAY EXIST THAT ARE NOT COVERED ON THESE PLANS.
10. THE CONTRACTOR AND ALL SUBCONTRACTORS SHALL ALSO BECOME FAMILIAR WITH ALL EXISTING CONDITIONS AT PRESENT LOCATION SO AS NOT TO DAMAGE ANY INSTRUMENTS OR EQUIPMENT DURING THE COURSE OF THIS PROJECT. ANY CHANGES, MODIFICATIONS OR DEVIATIONS FROM THESE PLANS SHALL BE SUBMITTED IN WRITING AND APPROVED BY THE ARCHITECT AND OWNER PRIOR TO ANY WORK BEING DONE.
11. THE ARCHITECT DOES NOT HAVE CONTROL OR CHARGE OF, AND SHALL NOT BE HELD RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES OR FOR SAFETY PRECAUTIONS, AND PROGRAMS IN CONNECTION WITH THE WORK, FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTOR OR ANY OTHER PERSONS PERFORMING ANY OF THEM TO CARRY OUT THE WORK, IN ACCORDANCE W/THE CONTRACT DOCUMENTS.
12. OWNER FURNISHED & INSTALLED ITEMS TO BE COORDINATED WITH GENERAL CONTRACTOR AND VENDOR.
13. REFER TO ADDITIONAL DRAWINGS FOR OTHER SPECIFIC NOTES.
14. DIMENSIONS ARE TO FACE OF FINISHES U.N.O.
15. PENETRATIONS THROUGH FIRE RATED ASSEMBLIES SHALL BE SEALED W/UL FIRE RATED ASSEMBLIES AS REQUIRED FOR TYPE OF PENETRATION & CONSTRUCTION.
17. SUSPENSION OF ALL CEILING AND OVERHEAD FRAMING IS TO BE FROM STRUCTURE ABOVE, (BEAMS AND JOISTS) AND NOT FROM FLOOR DECK.
18. SUSPENDED CEILING SYSTEMS SHALL NOT BE USED AS BRACING.
19. PROVIDE MINIMUM FLAME SPREAD RATE "C" ON INTERIOR FINISHES. INTERIOR FINISH ON WALLS AND CEILINGS AND SHALL BE CLASS 'C'.
20. DRAWINGS ASSUME ANY WALLS NOTED AS DEMOLISHED OR RELOCATED ARE NON-STRUCTURAL-UNLESS NOTED OTHERWISE AND SPECIFICALLY COORDINATED WITH THE STRUCTURAL DRAWINGS HEREIN.
21. ALL WOOD IN CONTACT WITH THE GROUND OR MASONRY OR CONCRETE SHALL BE PRESSURE TREATED.
22. ALL MATERIALS AND PRODUCTS IN DRAWINGS ARE SHOWN FOR DIMENSIONAL AND QUANTITY PURPOSES ONLY-VERIFY PRODUCT SELECTION WITH OWNER. VERIFY INSTALLATION AND PERFORMANCE CHARACTERISTICS WITH ACTUAL PRODUCT SPECIFICATIONS IN ADDITION TO MANUFACTURER'S RECOMMENDATIONS. ARCHITECT NOT RESPONSIBLE FOR FINAL MATERIAL SELECTED OR PERFORMANCE OF PRODUCT. VERIFY PRODUCTS WITH OWNER PRIOR TO PURCHASE.
23. TEXAS ACCESSIBILITY STANDARDS (T.A.S.) NOTE: OWNER IS RESPONSIBLE FOR SUBMITTING PLANS TO THE TEXAS DEPARTMENT OF LICENSING AND REGULATION OR A REGISTERED ACCESSIBILITY SPECIALIST IF THE CONSTRUCTION VALUE OF THE PROJECT EXCEEDS \$50,000. OWNER MUST NOTIFY ARCHITECT IF PLANS WERE SUBMITTED TO EITHER PARTY AND PROVIDE R.A.S. CONTACT INFORMATION.
24. THESE ARE NOT ENGINEERING PLANS, NOR IS TRIUNE ARCHITECTURE PLLC AN ENGINEERING FIRM. ANY DRAWING OR INFORMATION IN THIS SET OR ANY DOCUMENT PRODUCED BY TRIUNE ARCHITECTURE PLLC IS NOT ENGINEERED, AND DOES NOT TAKE THE PLACE OF ANY REQUIRED CIVIL, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, OR ANY OTHER PRACTICE, DESIGN OR SUBMITTAL TYPICALLY PRODUCED BY OR REQUIRED TO BE PRODUCED BY A PROFESSIONAL ENGINEER OR "P.E." TRIUNE ARCHITECTURE PLLC ASSUMES NO LIABILITY FOR ANY DAMAGE, INJURY, OR LOSS OF WELFARE CAUSED BY CIVIL, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING DESIGN.
25. THE USE OR INSTALLATION OF ANY PRODUCTS CONTAINING ASBESTOS IS PROHIBITED.

MULTI-FAMILY
ATTACHED
(TOWNHOUSE) RESIDENTIAL
DEVELOPMENT

2505 BENBROOK
FORT WORTH, TX

CITY OF FORT WORTH, TX CODES:

- 2021 IRC
- 2021 IBC
- 2021 MECH. CODE
- 2021 PLUMBING CODE
- 2015 IECC
- 2021 IFC
- 2020 NEC
- (WITH CITY AMENDMENTS)

SCOPE:

DEVELOPING ONE (2) TOTAL SINGLE-FAMILY ATTACHED STRUCTURES HOUSING A TOTAL OF 4 INDIVIDUAL DWELLING UNITS (EACH); AS DEFINED AND APPLICABLE BY THE 2021 IRC / IBC .

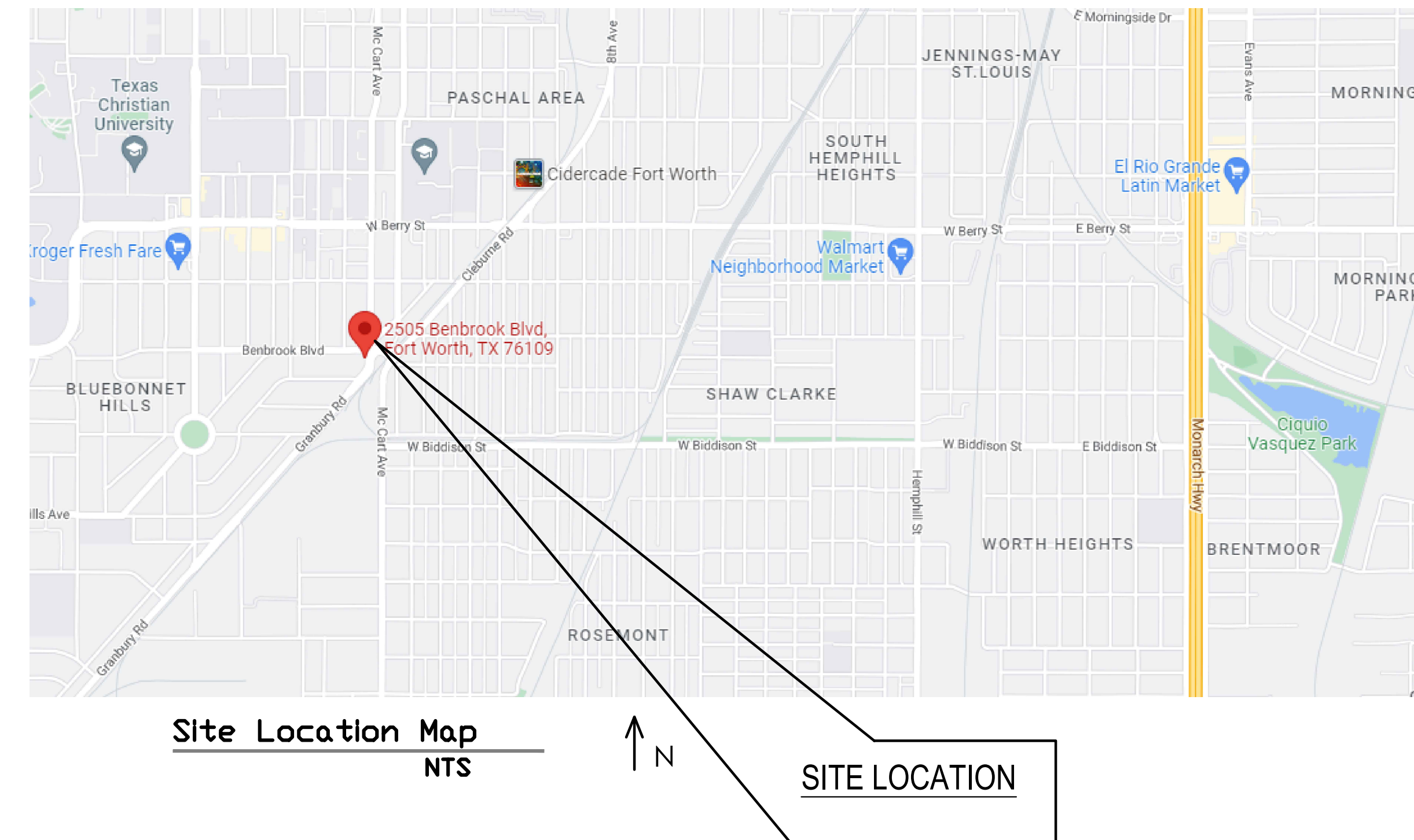
EACH LIVING UNIT IS THREE STORIES HIGH.

ACCESSIBILITY:

PROJECT IS A SINGLE-FAMILY RESIDENTIAL DEVELOPMENT. ACCESSIBLE DESIGN IS ONLY APPLICABLE TO THE PUBLIC IMPORVEMENTS.

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- A0.0 COVER SHEET / SITE PLAN
- A0.1 SITE PLAN
- A1.1 FLOOR PLANS
- A1.2 ROOF PLAN AND SCHEDULES
- A1.3 FIRE-RATED CONSTRUCTION DETAILS
- A2.1 EXTERIOR ELEVATIONS
- A3.1 BLDG. & STAIR SECTIONS
- A3.2 BLDG. & STAIR SECTIONS
- A3.3 BLDG. & STAIR SECTIONS



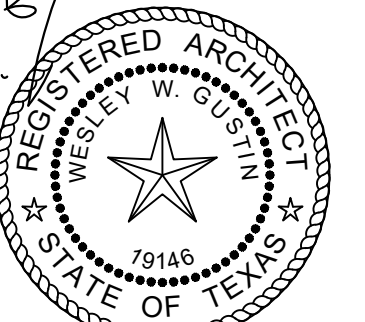
972-363-6155
www.triunearchitecturepllc.com



Residential Development

2505 Benbrook
Fort Worth, TX
76109

M.M. G...

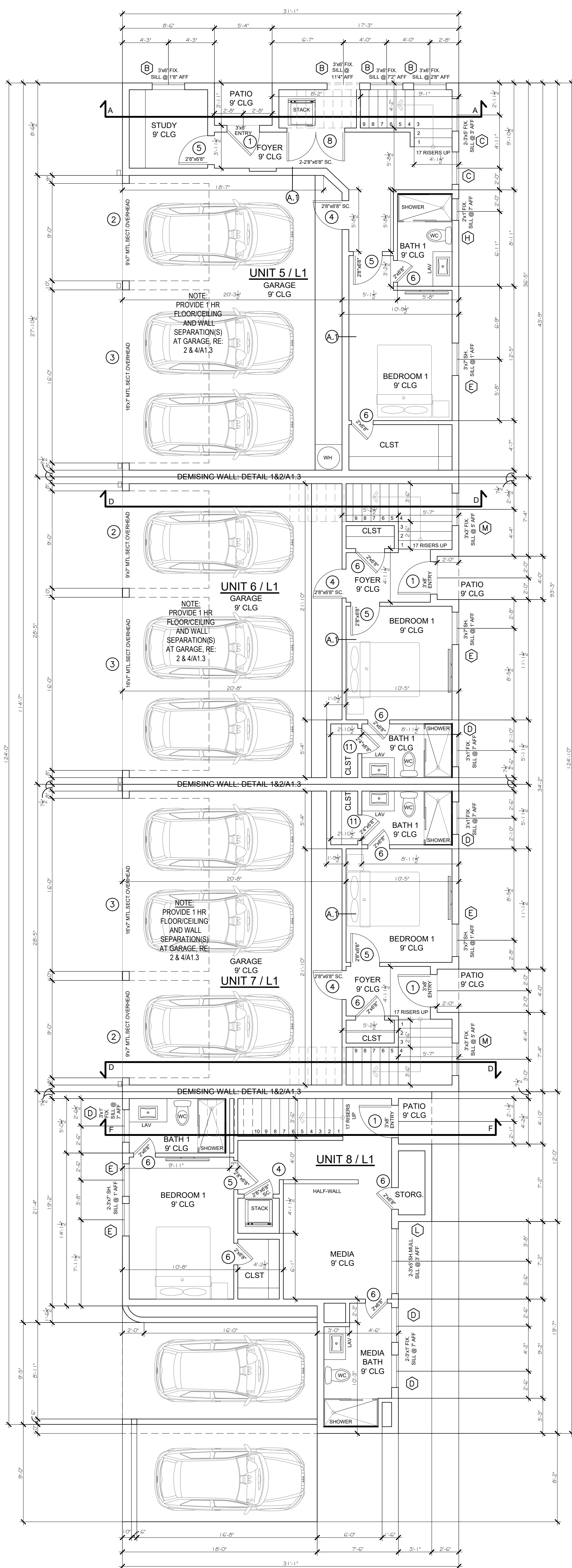


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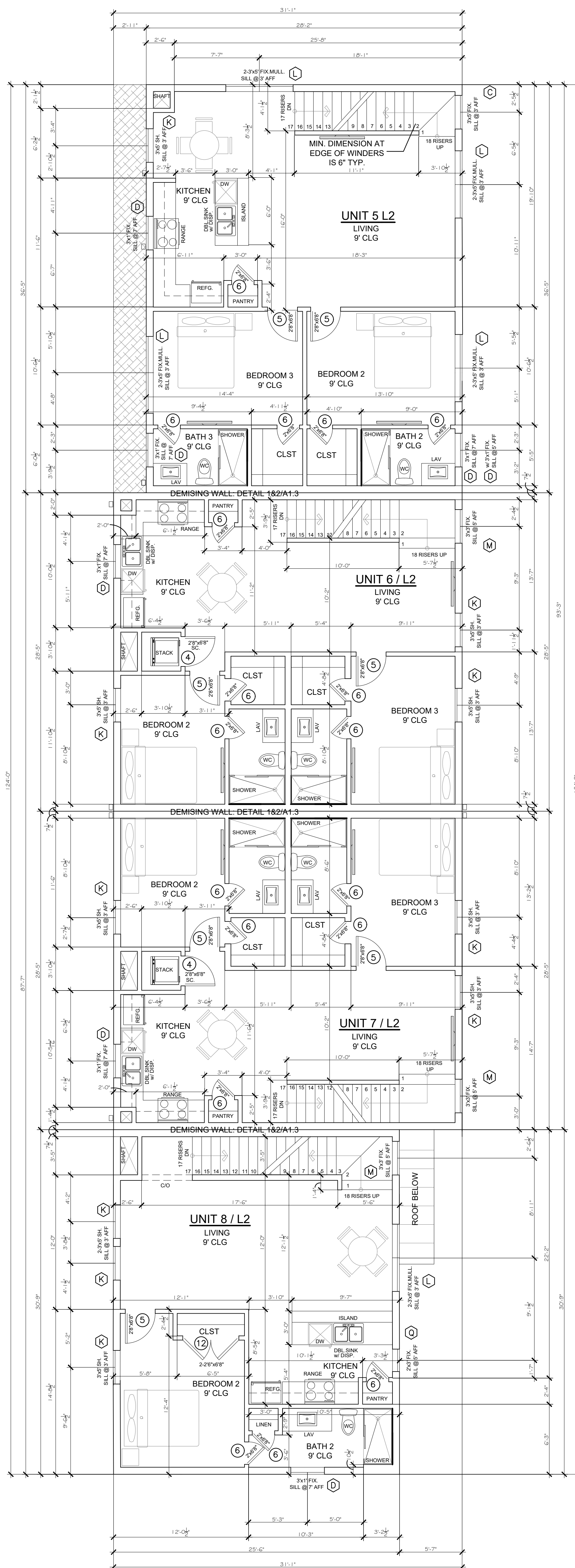
Project #: 2110

COVER SHEET / INDEX

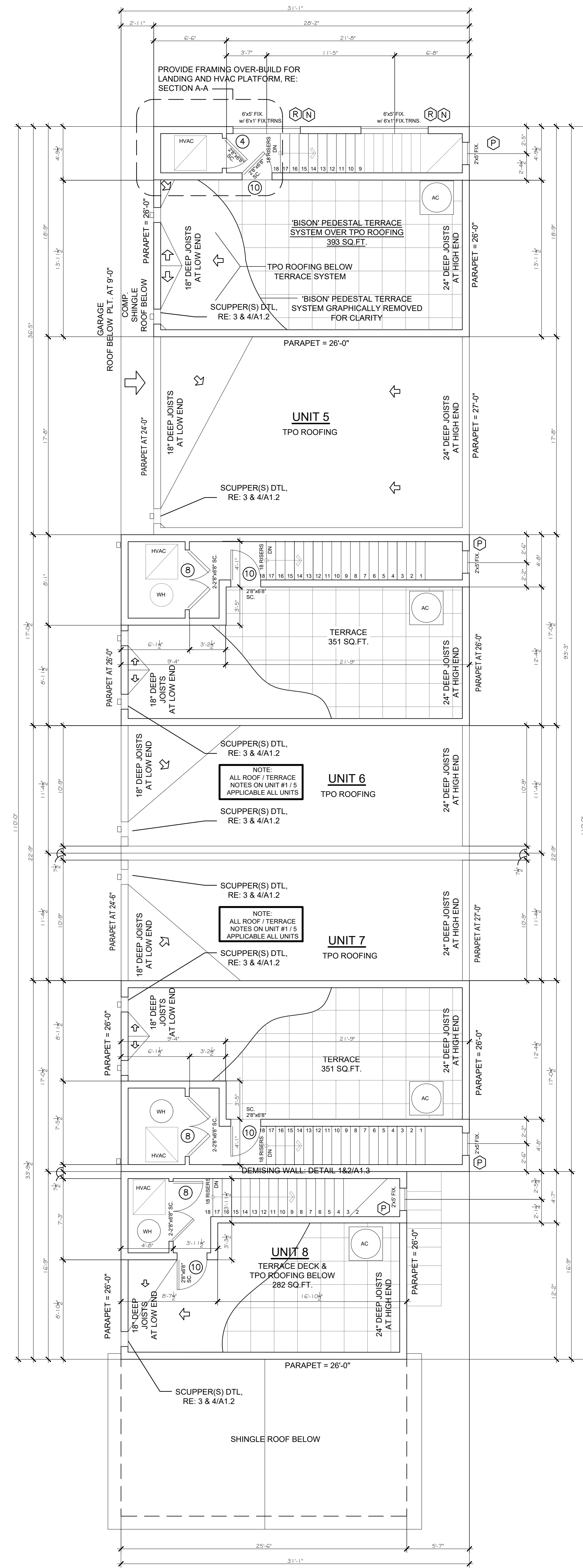
A0.0



Level 1 - Floor Plan
01 3/16" = 1'-0" PLAN NORTH



Level 2 - Floor Plan
02 3/16" = 1'-0" PLAN NORTH

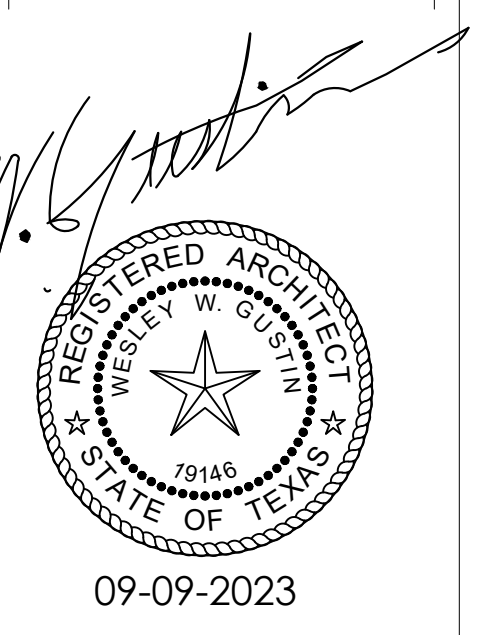


Level 3 - Floor Plan
03 3/16" = 1'-0" PLAN NORTH



Residential Development

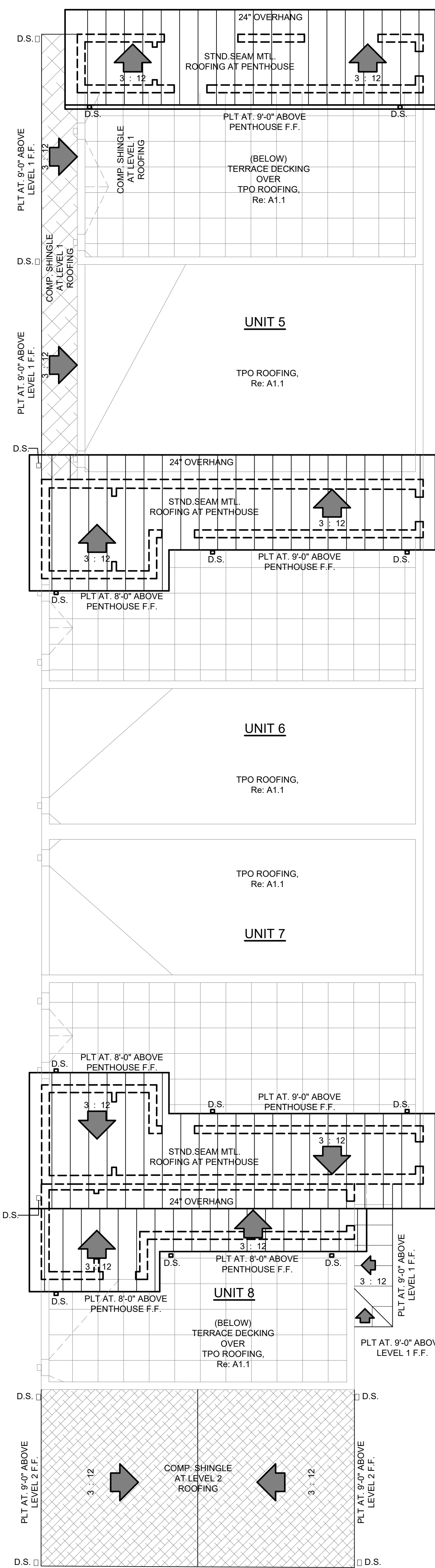
2505 Benbrook
Fort Worth, TX
76109



Project #: 2110

FLOOR
PLAN &
ROOF PLAN

A1.1



2505 BENBROOK UNIT 5

LEVEL 1	547
LEVEL 2	1026
LEVEL 3	135
TOTAL (AC)	1708
GARAGE	564
PATIO	21
TOTAL (non living area)	585
TOTAL (AUR)	2293

DOOR SCHEDULE

MARK	QTY	SIZE	TYPE
1	1	3'x8'	EXT. ENTRY
2	1	9'x7'	MTL SECT. OVERHEAD
3	1	16'x7'	MTL SECT. OVERHEAD
4	2	2'8"x6'8"	INT. SC.
5	4	2'8"x6'8"	INT. HC.
6	7	2'x6'8"	INT. HC.
7	0	2'-2"x6'8"	INT. DBL. HC.
8	1	2'-2"x6'8"	INT. DBL. SC.
9	0	2'-2"x6'8"	INT. DBL. HC.
10	1	2'8"x6'8"	EXT. SC.
11	0	2'4"x6'8"	INT. HC.
12	0	2'-2"x6'8"	INT. DBL. HC.

WINDOW SCHEDULE

MARK	QTY	SIZE	TYPE
A	0	1'x6'	FIX.
B	4	3'x6'	FIX.
C	3	3'x5'	FIX.
D	3	3'x1'	FIX.
E	1	3'x7'	SH.
F	0	3'x6'	SH.
G	0	2'x2'	FIX.
H	2	2'x1'	FIX.
J	0	5'x1'	FIX.
K	1	3'x5'	SH.
L	4	2'-3'x5'	SH. MULL.
M	0	3'x3'	FIX.
N	2	6'x1'	FIX. TRNS.
P	1	2'x5'	FIX.
Q	0	2'x3'	FIX.
R	2	2'-3'x5'	FIX. MULL.
S	1	3'x3'	FAUX

SH - SINGLE HUNG DL - DIVIDED LIGHT
 FIX - FIXED WINDOW OBS - OBSCURED
 HLF.RND - HALF ROUND ARCH - ARCH-TOP
 HRZ.SLDR - HORIZONTAL SLIDER

2505 BENBROOK UNIT 6

LEVEL 1	307
LEVEL 2	883
LEVEL 3	177
TOTAL (AC)	1367
GARAGE	568
PATIO	8
TOTAL (non living area)	596
TOTAL (AUR)	1963

DOOR SCHEDULE

MARK	QTY	SIZE	TYPE
1	1	3'x8'	EXT. ENTRY
2	1	9'x7'	MTL SECT. OVERHEAD
3	1	16'x7'	MTL SECT. OVERHEAD
4	2	2'8"x6'8"	INT. SC.
5	3	2'8"x6'8"	INT. HC.
6	7	2'x6'8"	INT. HC.
7	0	2'-2"x6'8"	INT. DBL. HC.
8	1	2'-2"x6'8"	INT. DBL. SC.
9	0	2'-2"x6'8"	INT. DBL. HC.
10	1	2'8"x6'8"	EXT. SC.
11	1	2'4"x6'8"	INT. HC.
12	0	2'-2"x6'8"	INT. DBL. HC.

WINDOW SCHEDULE

MARK	QTY	SIZE	TYPE
A	0	1'x6'	FIX.
B	0	3'x6'	FIX.
C	0	3'x5'	FIX.
D	2	3'x1'	FIX.
E	1	3'x7'	SH.
F	0	3'x6'	SH.
G	0	2'x2'	FIX.
H	0	2'x1'	FIX.
J	0	5'x1'	FIX.
K	3	3'x5'	SH.
L	0	2'-3'x5'	SH. MULL.
M	2	3'x3'	FIX.
N	0	6'x1'	FIX. TRNS.
P	1	2'x5'	FIX.
Q	0	2'x3'	FIX.
R	0	2'-3'x5'	FIX. MULL.
S	1	3'x3'	FAUX

SH - SINGLE HUNG DL - DIVIDED LIGHT
 FIX - FIXED WINDOW OBS - OBSCURED
 HLF.RND - HALF ROUND ARCH - ARCH-TOP
 HRZ.SLDR - HORIZONTAL SLIDER

2505 BENBROOK UNIT 7

LEVEL 1	307
LEVEL 2	883
LEVEL 3	177
TOTAL (AC)	1367
GARAGE	568
PATIO	8
TOTAL (non living area)	596
TOTAL (AUR)	1963

DOOR SCHEDULE

MARK	QTY	SIZE	TYPE
1	1	3'x8'	EXT. ENTRY
2	1	9'x7'	MTL SECT. OVERHEAD
3	1	16'x7'	MTL SECT. OVERHEAD
4	2	2'8"x6'8"	INT. SC.
5	3	2'8"x6'8"	INT. HC.
6	7	2'x6'8"	INT. HC.
7	0	2'-2"x6'8"	INT. DBL. HC.
8	1	2'-2"x6'8"	INT. DBL. SC.
9	0	2'-2"x6'8"	INT. DBL. HC.
10	1	2'8"x6'8"	EXT. SC.
11	1	2'4"x6'8"	INT. HC.
12	0	2'-2"x6'8"	INT. DBL. HC.

WINDOW SCHEDULE

MARK	QTY	SIZE	TYPE
A	0	1'x6'	FIX.
B	0	3'x6'	FIX.
C	0	3'x5'	FIX.
D	2	3'x1'	FIX.
E	1	3'x7'	SH.
F	0	3'x6'	SH.
G	0	2'x2'	FIX.
H	0	2'x1'	FIX.
J	0	5'x1'	FIX.
K	3	3'x5'	SH.
L	0	2'-3'x5'	SH. MULL.
M	2	3'x3'	FIX.
N	0	6'x1'	FIX. TRNS.
P	1	2'x5'	FIX.
Q	0	2'x3'	FIX.
R	0	2'-3'x5'	FIX. MULL.
S	1	3'x3'	FAUX

SH - SINGLE HUNG DL - DIVIDED LIGHT
 FIX - FIXED WINDOW OBS - OBSCURED
 HLF.RND - HALF ROUND ARCH - ARCH-TOP
 HRZ.SLDR - HORIZONTAL SLIDER

2505 BENBROOK UNIT 8

LEVEL 1	615
LEVEL 2	784
LEVEL 3	145
TOTAL (AC)	1544
GARAGE	0
PATIO	15
TOTAL (non living area)	15
TOTAL (AUR)	1559

DOOR SCHEDULE

MARK	QTY	SIZE	TYPE
1	1	3'x8'	EXT. ENTRY
2	0	9'x7'	MTL SECT. OVERHEAD
3	0	16'x7'	MTL SECT. OVERHEAD
4	1	2'8"x6'8"	INT. SC.
5	2	2'8"x6'8"	INT. HC.
6	7	2'x6'8"	INT. HC.
7	0	2'-2"x6'8"	INT. DBL. HC.
8	1	2'-2"x6'8"	INT. DBL. SC.
9	0	2'-2"x6'8"	INT. DBL. HC.
10	1	2'8"x6'8"	EXT. SC.
11	0	2'4"x6'8"	INT. HC.
12	1	2'-2"x6'8"	INT. DBL. HC.

WINDOW SCHEDULE

MARK	QTY	SIZE	TYPE
A	0	1'x6'	FIX.
B	4	3'x6'	FIX.
C	3	3'x5'	FIX.
D	4	3'x1'	FIX.
E	2	3'x7'	SH.
F	0	3'x6'	SH.
G	0	2'x2'	FIX.
H	0	2'x1'	FIX.
J	0	5'x1'	FIX.
K	3	3'x5'	SH.
L	2	2'-3'x5'	SH. MULL.
M	0	3'x3'	FIX.
N	0	6'x1'	FIX. TRNS.
P	1	2'x5'	FIX.
Q	1	2'x3'	FIX.
R	0	2'-3'x5'	FIX. MULL.
S	1	3'x3'	FAUX

SH - SINGLE HUNG DL - DIVIDED LIGHT
 FIX - FIXED WINDOW OBS - OBSCURED
 HLF.RND - HALF ROUND ARCH - ARCH-TOP
 HRZ.SLDR - HORIZONTAL SLIDER

2505 BENBROOK TOTAL

LEVEL 1	1776
LEVEL 2	3576
LEVEL 3	634
TOTAL (AC)	5986
GARAGE	1700
PATIO	52
TOTAL (non living area)	1792
TOTAL (AUR)	7778

DOOR SCHEDULE

MARK	QTY	SIZE	TYPE
1	4	3'x8'	EXT. ENTRY
2	3	9'x7'	MTL SECT. OVERHEAD
3	3	16'x7'	MTL SECT. OVERHEAD
4	5	2'8"x6'8"	INT. SC.
5	12	2'8"x6'8"	INT. HC.
6	28	2'x6'8"	INT. HC.
7	0	2'-2"x6'8"	INT. DBL. HC.
8	4	2'-2"x6'8"	INT. DBL. SC.
9	0	2'-2"x6'8"	INT. DBL. HC.
10	4	2'8"x6'8"	EXT. SC.
11	2	2'4"x6'8"	INT. HC.
12	1	2'-2"x6'8"	INT. DBL. HC.

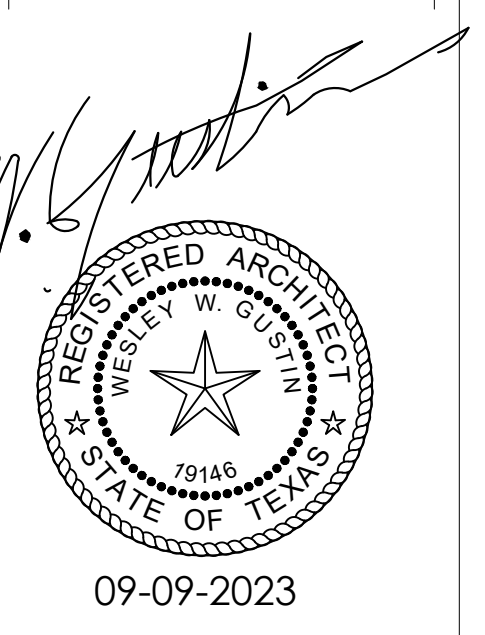
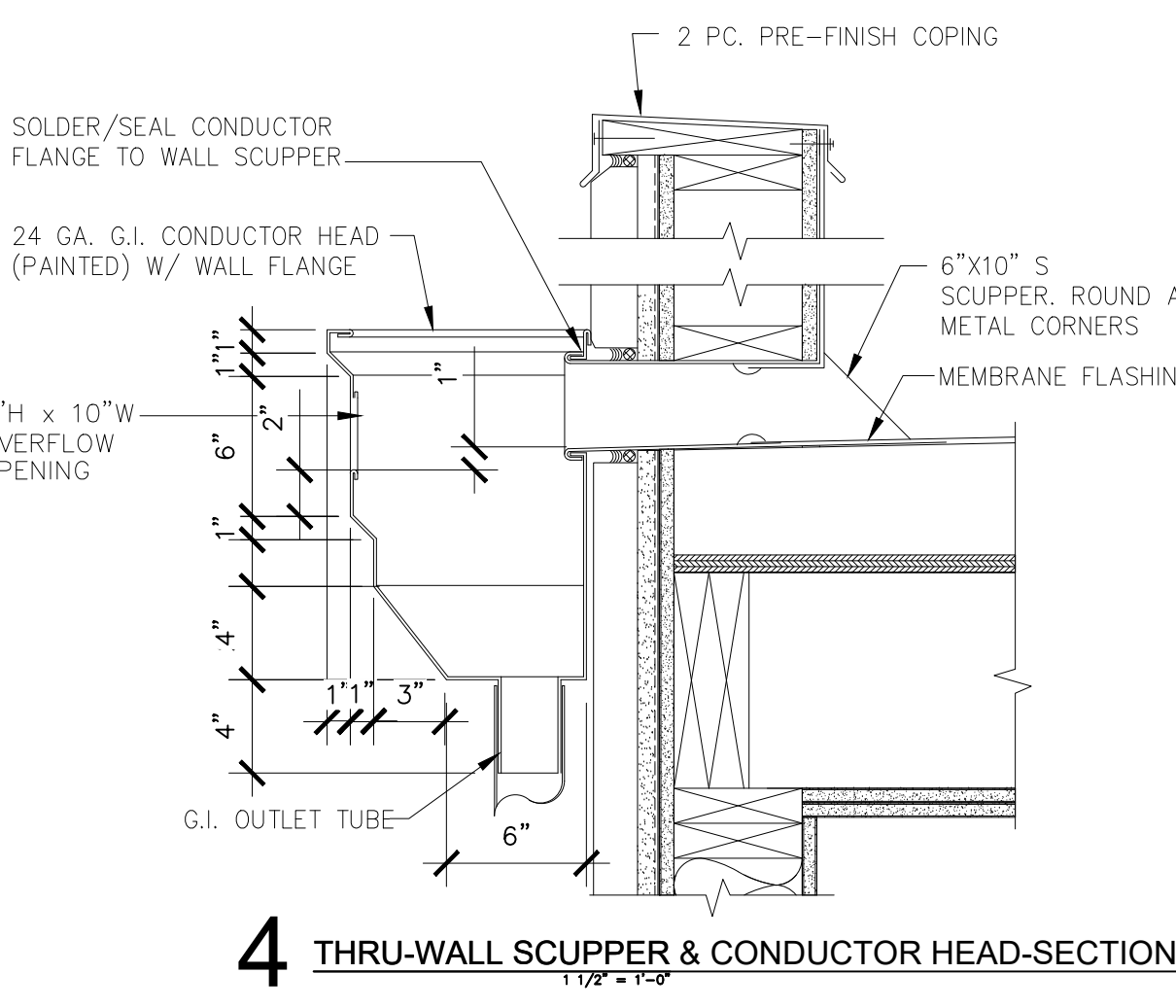
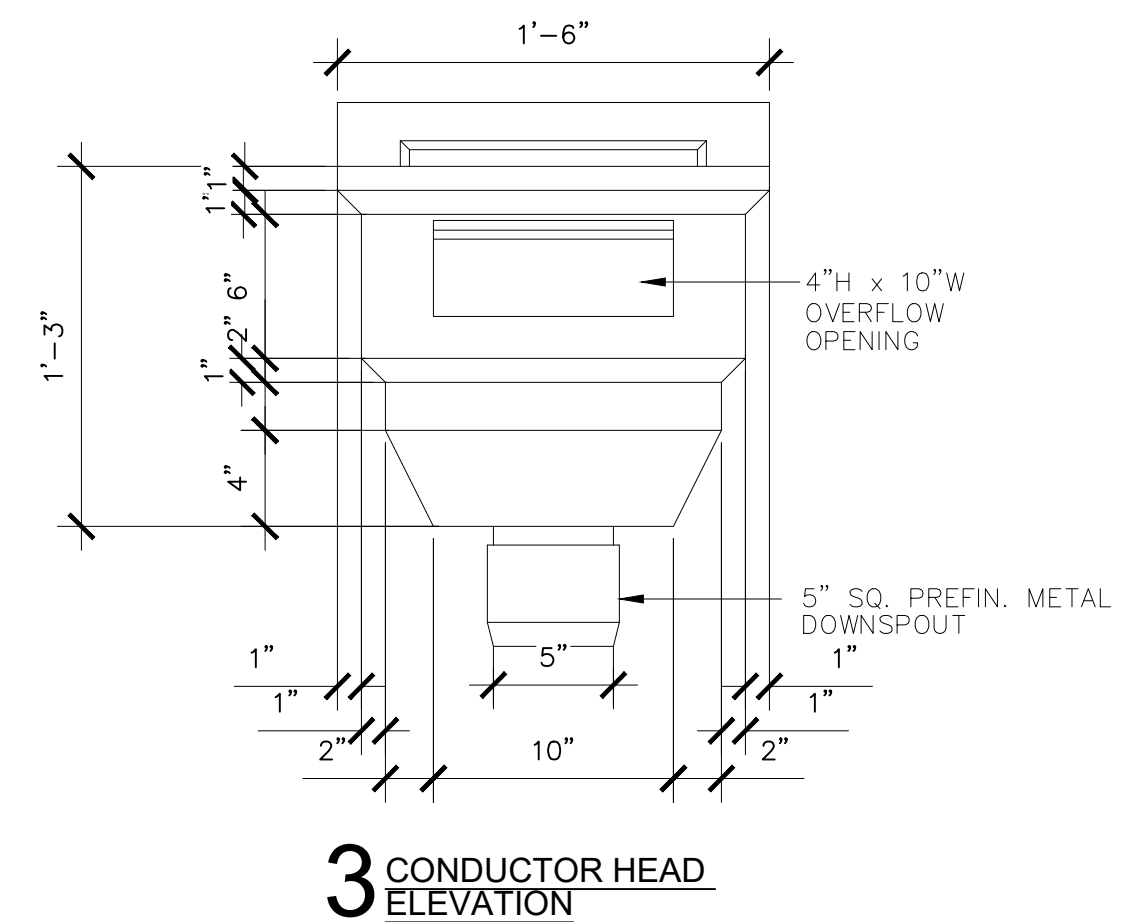
WINDOW SCHEDULE

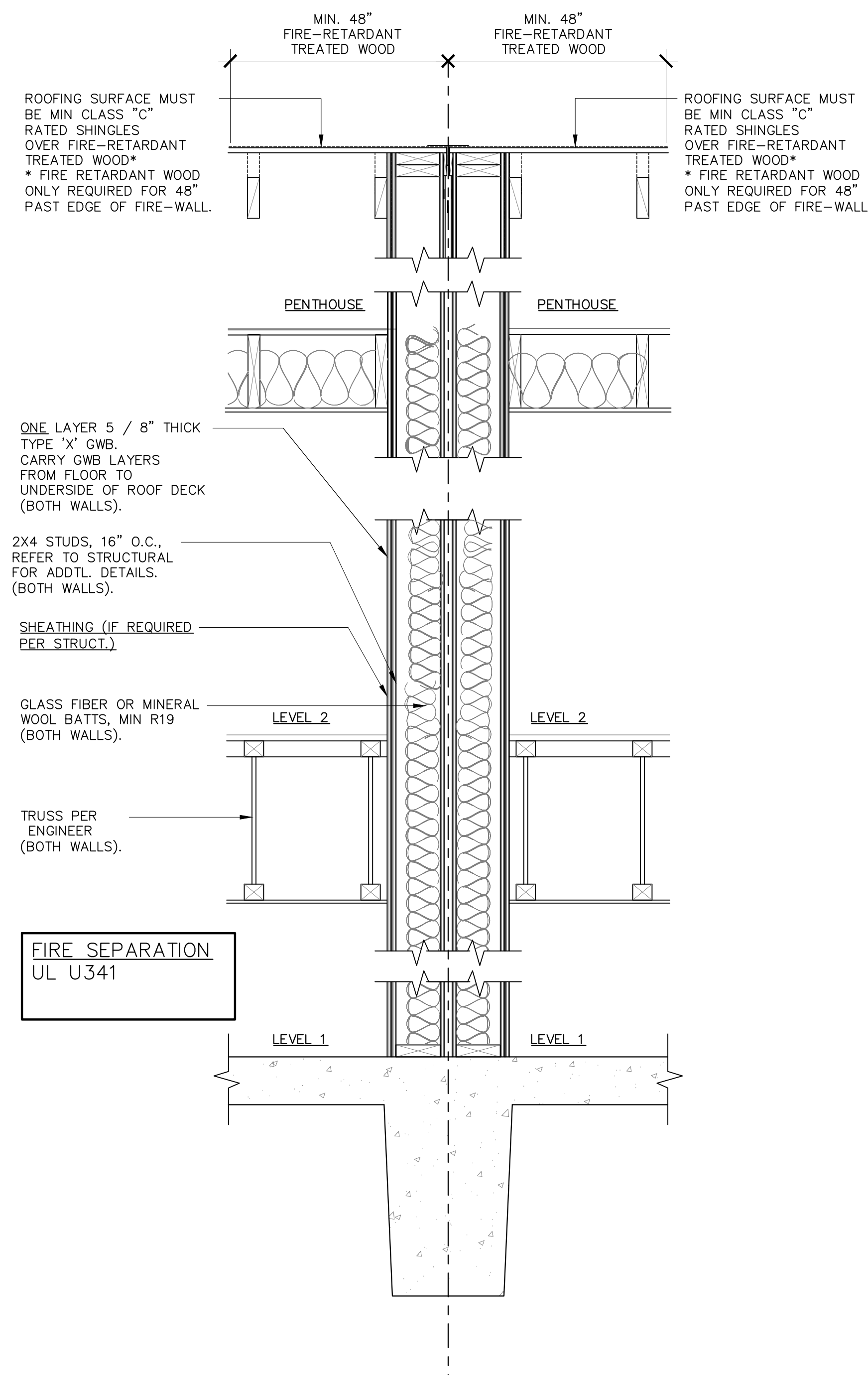
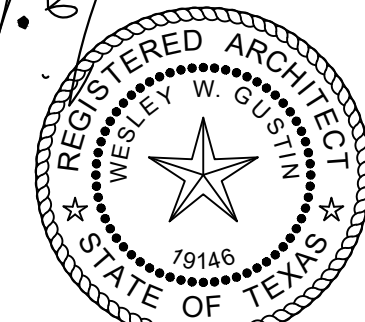
MARK	QTY	SIZE	TYPE
A	0	1'x6'	FIX.
B	4	3'x6'	FIX.
C	3	3'x5'	FIX.
D	11	3'x1'	FIX.
E	5	3'x7'	SH.
F	0	3'x6'	SH.
G	0	2'x2'	FIX.
H	2	2'x1'	FIX.
J	0	5'x1'	FIX.
K	10	3'x5'	SH.
L	6	2'-3'x5'	SH. MULL.
M	4	3'x3'	FIX.
N	2	6'x1'	FIX. TRNS.
P	4	2'x5'	FIX.
Q	1	2'x3'	FIX.
R	2	2'-3'x5'	FIX. MULL.
S	4	3'x3'	FAUX

SH - SINGLE HUNG DL - DIVIDED LIGHT
 FIX - FIXED WINDOW OBS - OBSCURED
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 HRZ.SLDR - HORIZONTAL SLIDER

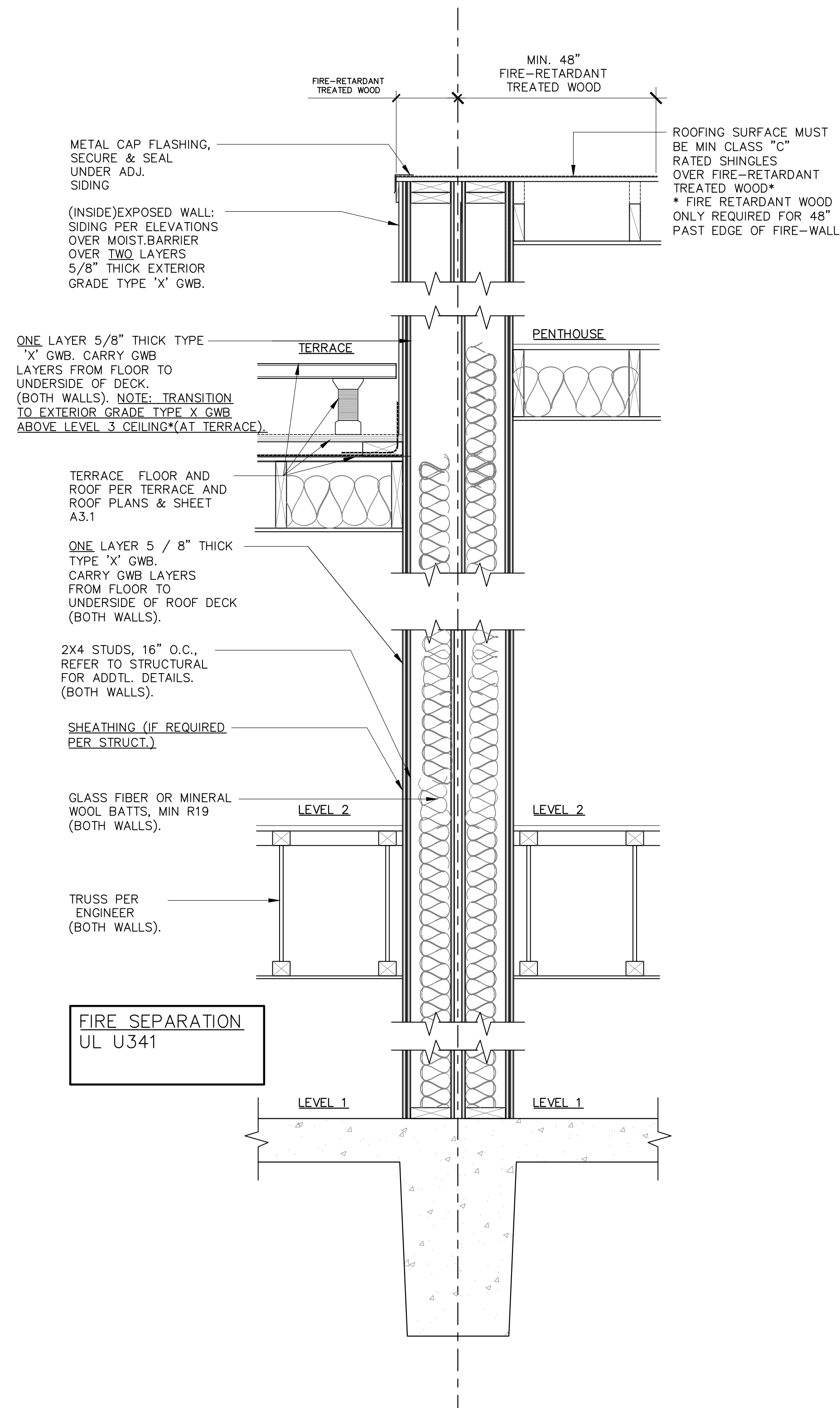
Door & Window Schedule
02 NTS

NOTE:
 OPTIONAL CONDUCTOR HEAD DESIGNS ARE ACCEPTABLE AS LONG AS:
 1. OVERFLOW OPENING SIZES ARE SAME SIZE SHOWN HEREIN (MINIMAL.)
 2. PLACEMENT OF OVERFLOW OPENING ACCOMPANYING SECTION.

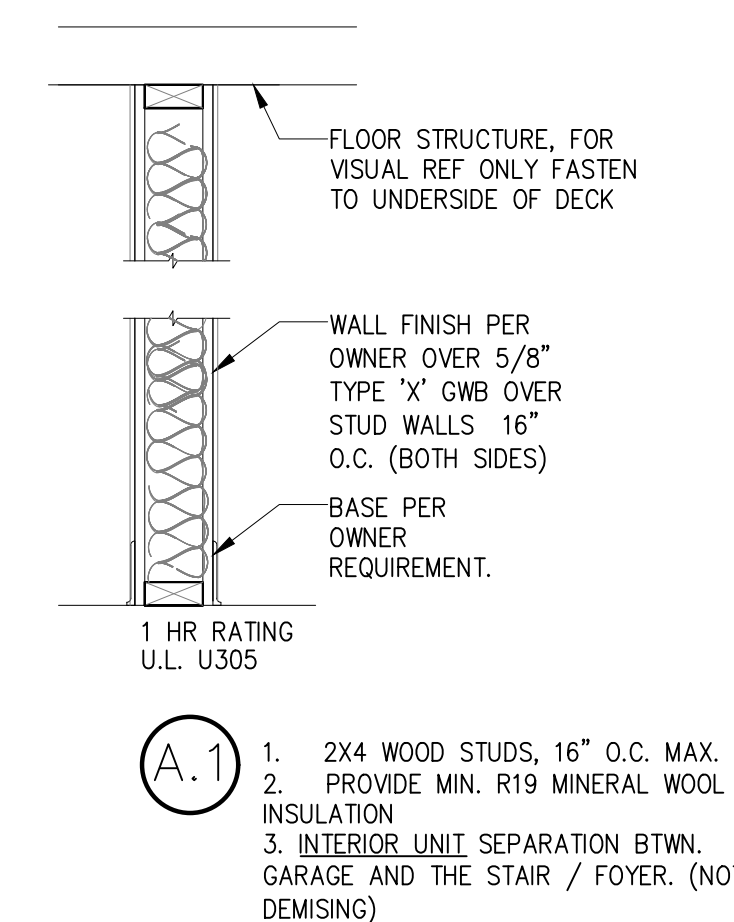




1 HR FIRE WALL (PNTHS TO PNTHS)
01 1' = 1'-0"



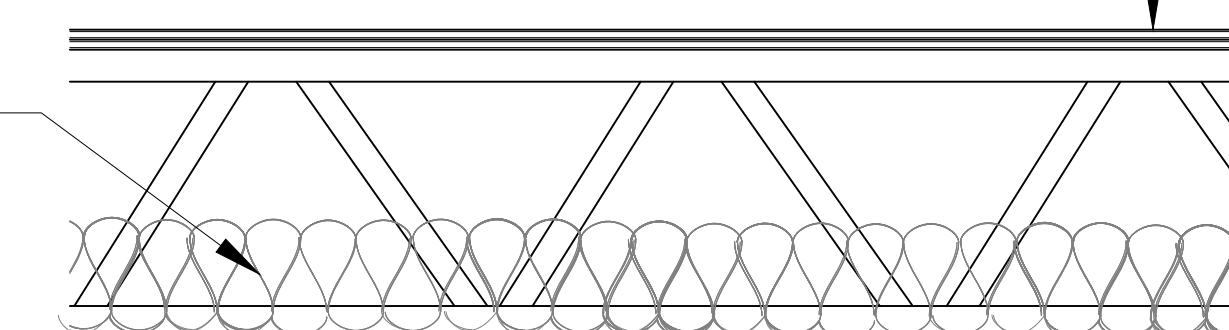
1 HR FIRE WALL (TERRACE-TO-PENTHOUSE)
02 1' = 1'-0"



WALL ASSEMBLY AT GARAGE STAIR
03 1' = 1'-0"

PER IBC, 13-1.4:
DOUBLE-WOOD FLOOR:
SUB-FLOOR: MIN 1 1/2" PLY W/
EXTERIOR GLUE.
TOP LAYER: MIN 1 3/8" PLY OR
MIN. 1 3/8" FINISHED WD. FLOORING

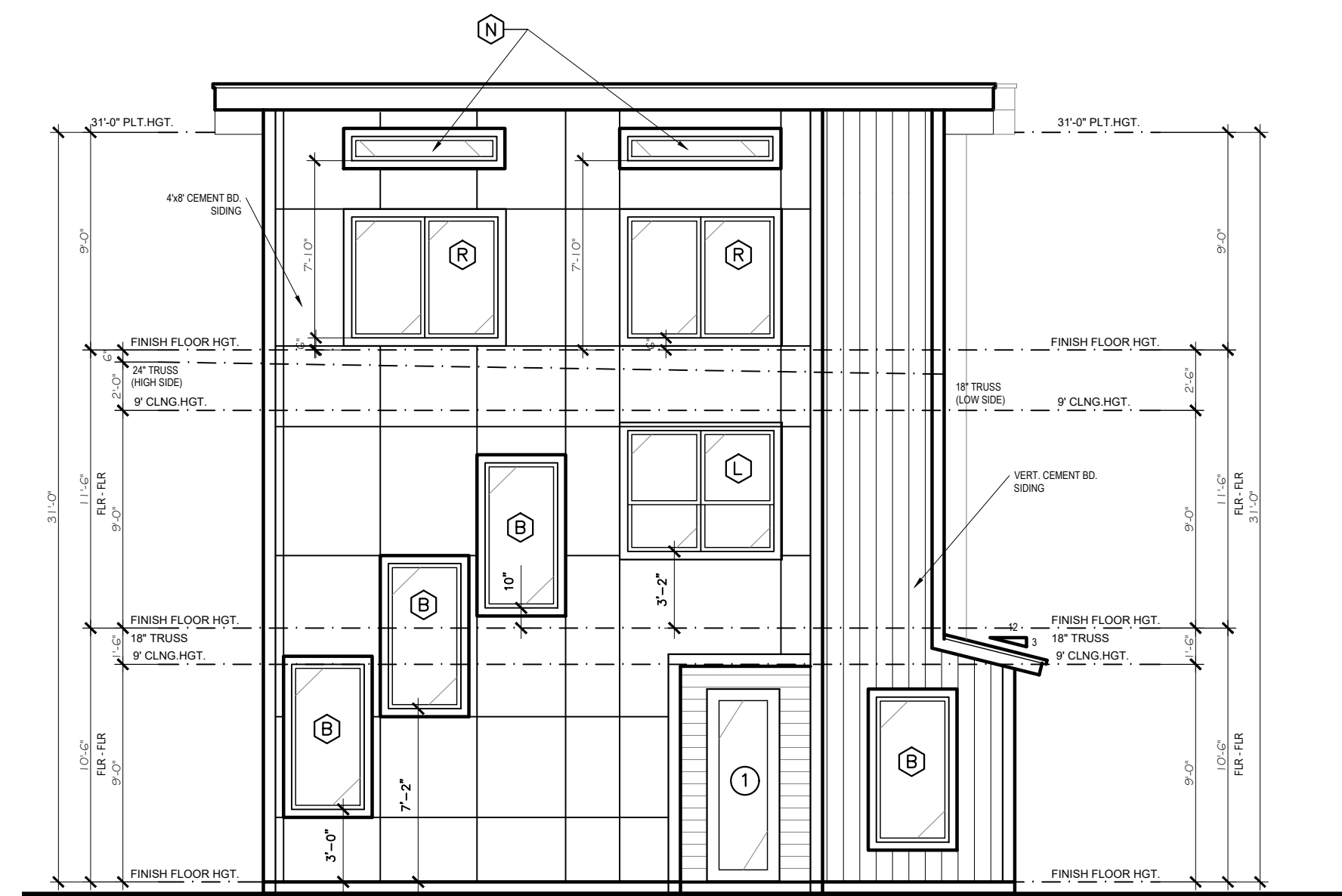
INSULATION ABOVE
GARAGE CEILING
TO BE MIN R38
MINERAL WOOL



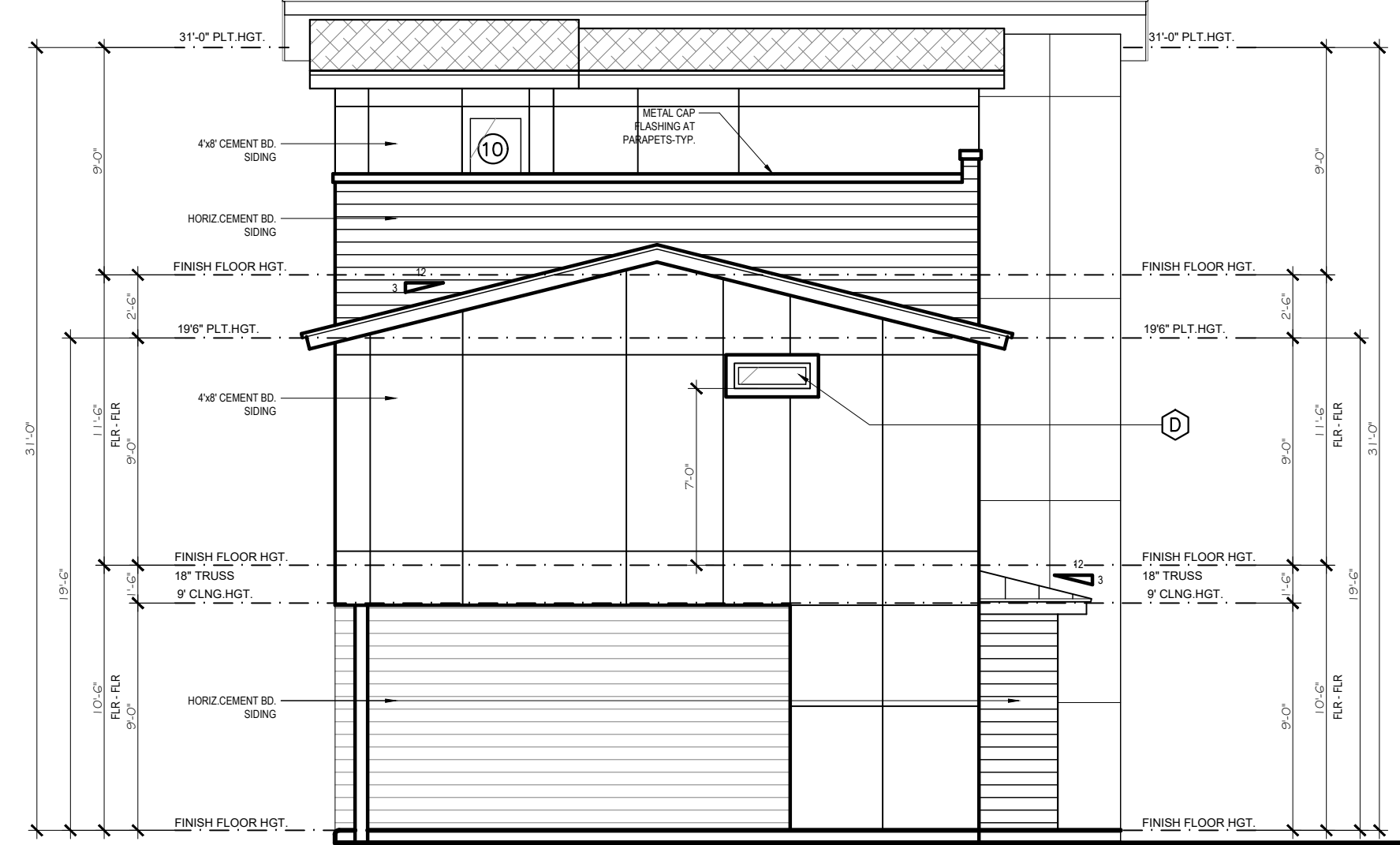
PER IBC, 13-1.4:
CEILING: 0.50"
TYPE 'X' GWB NAILED
TO JOIST WITH TYPE 5D WALL-
BOARD NAILS AT 6" O.C.
CENTER THE END
JOINTS OF ON JOISTS.

IBC 2015
SEC 13-1.4:
1 HR FLOOR-CEILING
ASSEMBLY

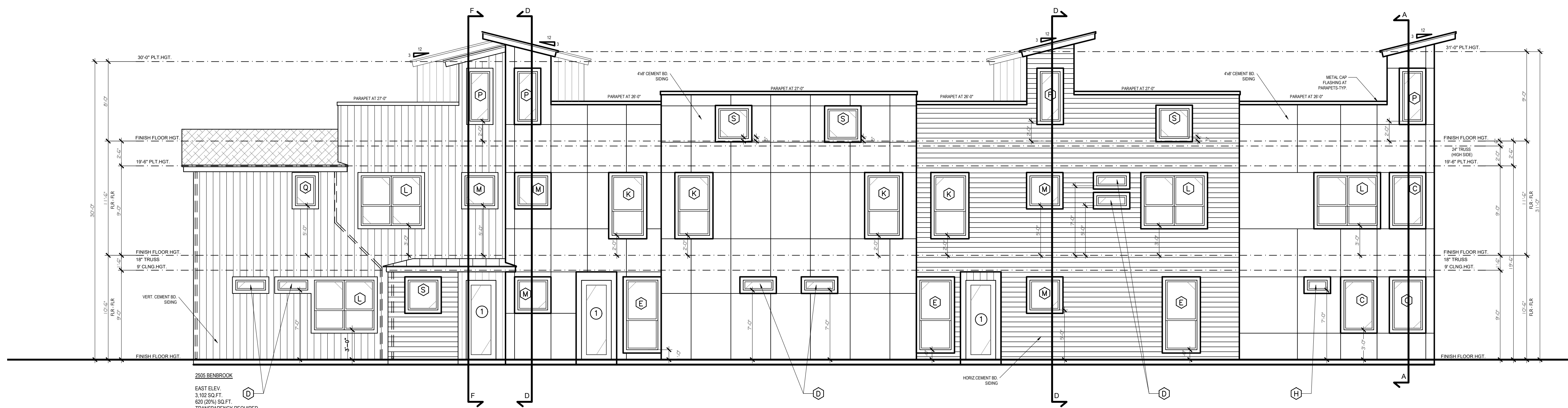
FLOOR-CEILING ASSEMBLY AT GARAGE
04 1' = 1'-0"



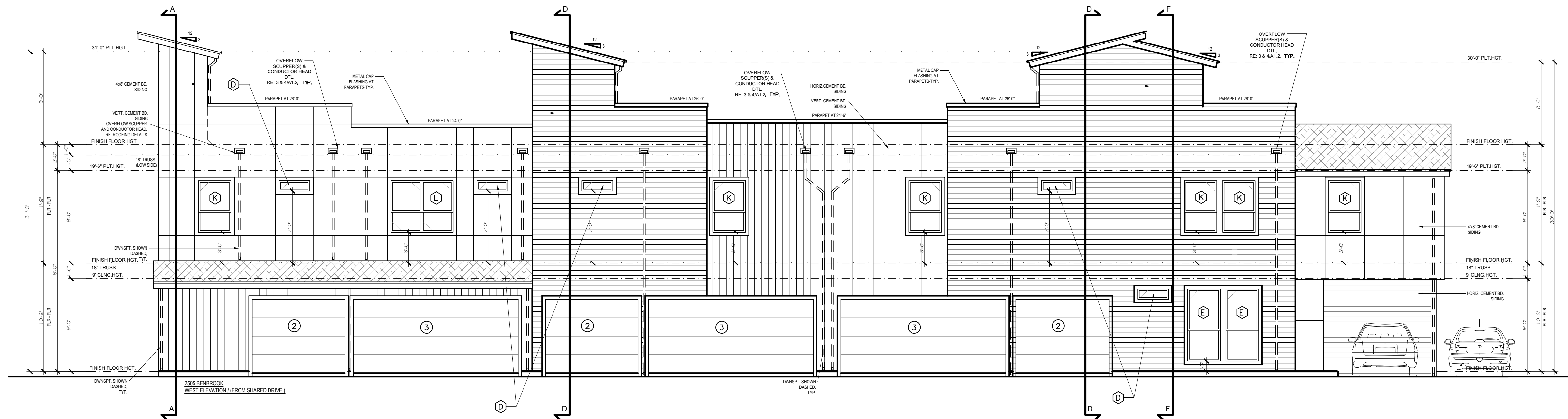
2505 BENBROOK FRONT NORTH ELEV.
 NET SFT
 180 (20% SH) FT
 TRANSPARENCY REQUIRED
 216 (22.2%) PROVIDED



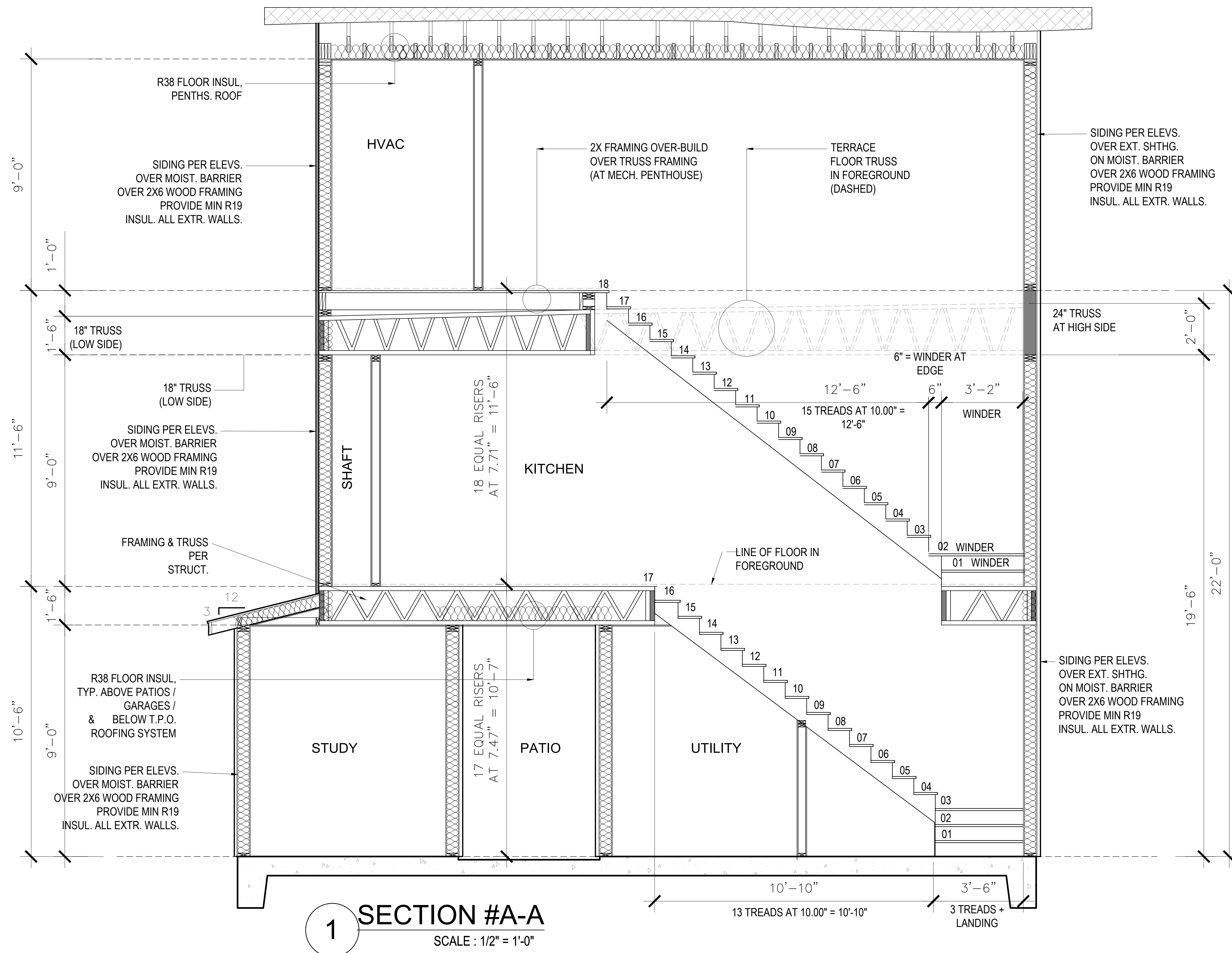
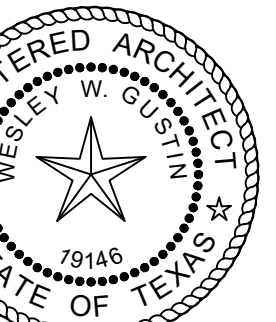
2505 BENBROOK SOUTH ELEVATION

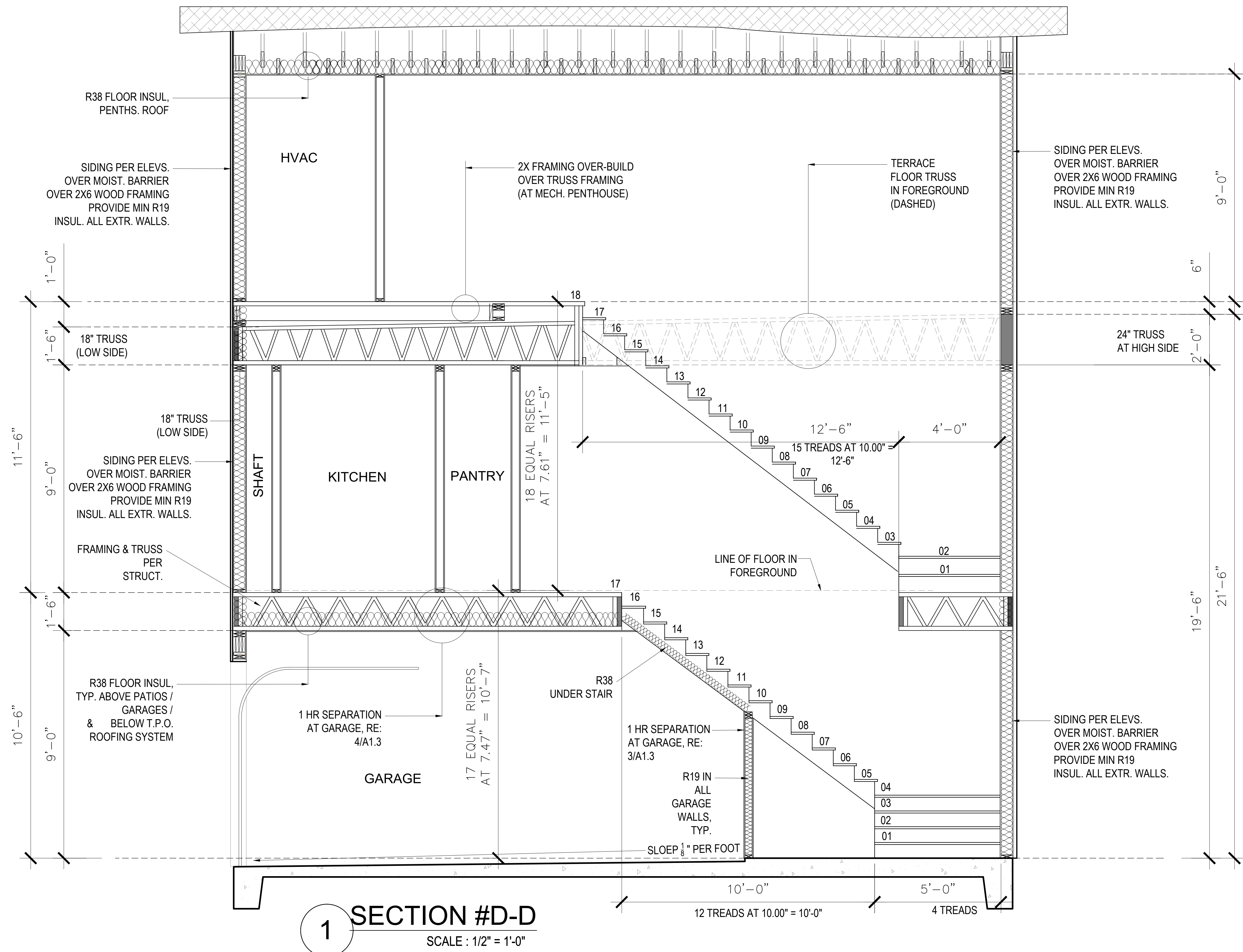


2505 BENBROOK EAST ELEV.
 3,150 (50% SH) FT
 630 (20% SH) FT
 TRANSPARENCY REQUIRED
 627 (20.2%) PROVIDED

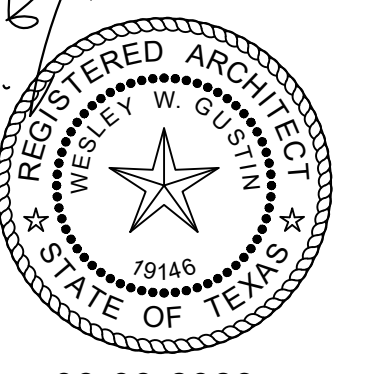


2505 BENBROOK WEST ELEVATION (FROM SHARED DRIVE)





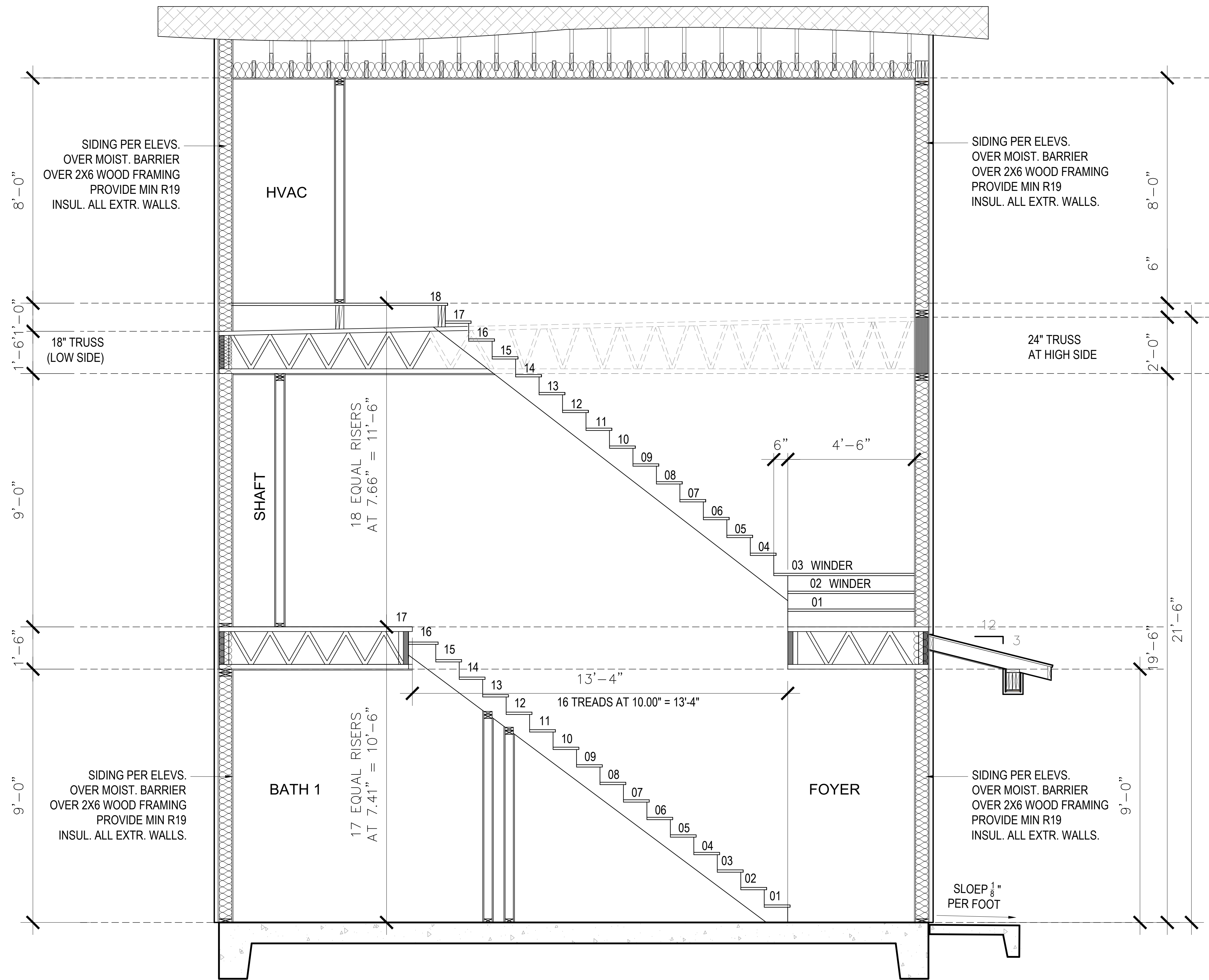
M.W. Gustin



09-09-2023

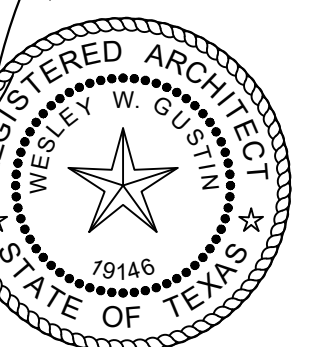
Project #: 2110

BLDG. / STAIR SECTIONS



SECTION #F-F
SCALE : 1/2" = 1'-0"

1



09-09-2023

Project #: 2110

BLDG. / STAIR SECTIONS

A3.3